



Agenda for the Board of Building and Zoning Appeals  
Regular Meeting- Huron City Hall – Council Chambers  
May 12, 2025 5:30p.m.

- I. Call to Order**
- II. Roll Call**
- III. Adoption of the minutes (4-14-25)**
- IV. New Business**
  - 307 Munsee                      PPN 48-00188.000                      R-1**  
Area Variances- Rear and Left Side Yard Setbacks for an addition/expansion to the home.
  
  - 408 Shawnee                      PPN48-00117.000                      R-1**  
Area Variances- Side Yard Setback, Height, and allowing the proposed addition to the detached garage to encroach into the side yard.
  
  - 412 Wasta                      PPN49-00089.000                      R-1**  
Area Variances-Rear Yard Setback for a covered patio addition.
  
  - 118 Cincinnati Ave                      PPN45-00066.000                      R-1**  
Area Variance- Rear Yard Setback for an attached garage addition.
- V. Other Matters**
  - Meeting Reminder- June 9, 2025
- VI. Adjournment**



**TO:** Chairman Kath and Board Members  
**FROM:** Christine Gibboney, Planning & Zoning Manager  
**RE:** Area Variance: 307 Munsee Place  
**DATE:** May 12, 2025

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**307 Munsee Place**                      **Zoning R-1**                      **Parcel No.: 48-00188.000**

**Existing Land Use:**                      **Single Family Residence**                      **Flood Zone: X**

**Property Size:**                      **70 x 105**

**Traffic Considerations:**                      **n/a**

**Project Description- Area Variance- Setbacks**

Applicants are proposing to construct an addition and renovation/reconstruction of portions of the existing one-story single-family residence. The improvement will consist of 1,665sq. ft. and will remain a one-story residence. The proposed height will be 19'-4". The right-side yard setback of the existing structure is pre-existing/non-conforming to the code and will remain as is; the setback will not change. As proposed, the additions will require setback variances to the rear and left sides.

**Applicable Code Sections/Specifications**

**1123.01- R-1 Single Family Residential**

				<u>Side Yards</u>		
<u>Dwelling</u> <u>(stories)</u>	<u>Lot Area</u> <u>(sq. ft.)</u>	<u>Lot Frontage</u> <u>(ft.)</u>	<u>Front</u> <u>Yard</u> <u>Depth</u> <u>(ft.)</u>	<u>Least</u> <u>Width</u> <u>(ft.)</u>	<u>Sum of</u> <u>Width</u> <u>(ft.)</u>	<u>Rear</u> <u>Yard</u> <u>Depth</u> <u>(ft.)</u>
1	9,000	75	30	7	15	30
2	9,000	75	30	8	20	30

**1137.03 YARD MODIFICATIONS.**

(a) Average Depth of Front Yards. The required minimum front yard depth of any lot in any R District shall be modified to be at least equal to the average front yard depth of lots immediately adjoining it and within the same block front. Such modification will be made only if such average front yard depth is not equal to the required minimum front yard depth. The modified required minimum front yard depth of such lot shall be at least ten feet and not exceed fifty feet. If any immediately adjoining lot is vacant, then the front yard depth of such immediately adjoining lot will be presumed to be the required minimum front yard depth. (Ord. 2024-47)

***Since the proposed variance falls under the "area variance" category, the following criteria should be examined to establish if there are practical difficulties in the use of the property (The Seven (7) Way Test-Duncan vs The Village of Middlefield) MEMBERS SHOULD REVIEW AND APPLY THIS CRITERIA ON THE RECORD:***

1. *Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.*
2. *Whether the variance is substantial.*
3. *Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance.*
4. *Whether the variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
5. *Whether the property owner purchased the property with knowledge of the zoning restriction or if the need for the variance is "self-imposed." (The owner created the situation)*
6. *Whether the property owner's predicament feasibly can be obviated through some method other than a variance.*
7. *Whether the spirit and intent behind the zoning requirement would be observed substantial justice done by granting the variance.*

### **Staff Analysis**

Applicant is proposing a renovation and addition to an existing one-story, single-family home. The existing home was built in 1951 and had spanned two parcels. The owner recently had the two parcels combined. The existing home is currently compliant with zoning regulations for the R-1 district, with the exception of the right side yard setback:

### **As existing (Single Story Home)**

Front	Rear	Side-Right	Side -Left
*25' -1 ¾ "	30'+	3'-2 ¼"	8'

According to the application and site plan, the proposed addition/renovations do not alter the existing right-side yard setback or the front yard setback. \*The front yard setback seems based on the average of the two neighboring properties making it compliant, and the proposed addition to the front is further back than the setback, therefore will not require a variance. The right-side yard is not being changed, therefore, no variance is required.

The proposed expansion/additions to the rear and the left side are non-compliant and would require setback variances:

### **As proposed (Single Story Home)**

Front	Rear	Side- Right	Side - Left
25' -1 ¾ "	19'-7 ½ "	3'-2 ¼"	2'- 10"

Included within the application packet, three (3) statements of support from neighbors:

Gibbons- 310 Tecumseh

Scullin-311 Munsee

Dillon-306 Tecumseh

As proposed, the addition will require the following variances:

- 10'-4 ½" Rear Yard Setback Variance
- 5'-2" Side Yard Setback Variance

#### Motion Examples

[PLEASE STATE WHY YOU ARE APPROVING OR DENYING FOR THE RECORD, USING THE SEVEN WAY TEST CRITERIA]

Motion to **APPROVE** the variance request:

I make the motion to **approve** the request for area variances at 307 Munsee Place for a **10'-4 ½" Rear Yard Setback Variance and a 5'-2" Side Yard Setback Variance for a proposed addition** as submitted, as the testimony presented in this public hearing has shown that *(Choose one or more appropriate finding(s) and specific items based on the seven-way test)*

- *The property in question would not yield a reasonable return or would not have any beneficial use without the variance.*
- *The variance is not substantial.*
- *The essential character of the neighborhood would not be substantially altered and/or the adjoining properties would not suffer a substantial detriment as a result of the variance.*
- *The variance would not adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
- *The property owner purchased the property without the knowledge of the zoning restriction and/or the need for the variance is not "self-imposed." (The owner did not create the situation)*
- *The property owner's predicament feasibly cannot be obviated through some method other than a variance.*
- *The spirit and intent behind the zoning requirement would be observed, substantial justice done by granting the variance.*

OR

Motion to **DENY** the variance request:

I make the motion to **deny** the request for area variances at 307 Munsee Place for a **10'-4 ½" Rear Yard Setback Variance and a 5'-2" Side Yard Setback Variance for a proposed addition** as sufficient testimony has **not** been presented in this public hearing that the requested variance meets the criteria set forth in the seven-way test as the:

*(Choose one or more appropriate finding(s) and specific items based on the seven-way test)*

- *The property in question would yield a reasonable return and/or would have beneficial use without the variance.*
- *The variance is substantial.*
- *The essential character of the neighborhood would be substantially altered and/or the adjoining properties would suffer a substantial detriment as a result of the variance.*

- *The variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
- *The property owner purchased the property with the knowledge of the zoning restriction and/or the need for the variance is “self-imposed.” (The owner created the situation)*
- *The property owner’s predicament feasibly cannot be obviated through some method other than a variance.*
- *The spirit and intent behind the zoning requirement would not be observed, substantial justice would not be done by granting the variance.*

MUNS

08  
MUNSEE PL

30

50

307

194

193

192

191



**CITY OF HURON**  
**Planning & Zoning Department**  
**417 MAIN STREET, HURON, OH 44839**

**THE BOARD OF BUILDING AND ZONING APPEALS APPLICATION**  
Completion of all applicable sections required. Incomplete applications will not be accepted.

We, the undersigned represent that we are the title owners of the following described property situated in the City of Huron, OH:

Applicant's Name James E. Peters - Reminger Co. LPA

Property Owners' Name: Robert T. Parisi, Jr. and Alice T. Parisi

Address: 307 Munsee Place

City, State, Zip: Huron, OH 44839

Phone Number 419-367-5354 (owner) 419-609-4235 Applicant

Email: parisiart89@gmail.com (owner) jpeters@reminger.com (applicant)

**Location of Project:**

Lot/Parcel #: 48-00188.000 Zoning District: \_\_\_\_\_

Address: 307 Munsee Place Huron, OH 44839.

Year purchased: 2017. Year the existing structure was constructed: 1951

Single Story Home: X Two Story Home: \_\_\_\_\_

Provide a brief summary of your proposed project:

See attached Exhibit

**Type:**

- Area Variance: Subdivision Regulations \_\_\_\_\_ Parking \_\_\_\_\_ Setbacks X  
Height \_\_\_\_\_ Size \_\_\_\_\_ Flood Plain \_\_\_\_\_ Sign Regulations \_\_\_\_\_
- Use Variance: \_\_\_\_\_
- Conditionally Permitted Use: \_\_\_\_\_

We request a Hearing before the Board of Building and Zoning Appeals of the City of Huron, Ohio, on the following question: *(State the specific details of the variance being requested. Example: Area variance- 1' side setback variance is required for the proposed addition; Use Variance- State the type of use; or Conditionally Permitted Use approval )*  
See attached Exhibit

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### **Conditionally Permitted Use Approval**

The following uses shall be permitted only if authorized by the Board of Building & Zoning Appeals in accordance with the provisions of Section 1139.02. State the type of use being proposed and the applicable code section:

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Code Section: \_\_\_\_\_  
(skip to Page 7, Sign and Date Application)

### **Use and/or Area Variance Questionnaire**

1. The property in question [ will/will not] yield a reasonable return and there [ can/ cannot] be a beneficial use of the property without the variance because:  
See attached Exhibit  
\_\_\_\_\_  
\_\_\_\_\_
2. The variance is [substantial/insubstantial] because:  
See attached Exhibit  
\_\_\_\_\_  
\_\_\_\_\_
3. The essential character of the neighborhood [would/would not] be substantially altered or adjoining properties [would/would not] suffer a substantial detriment as a result of the variance because:  
See attached Exhibit  
\_\_\_\_\_  
\_\_\_\_\_
4. The variance [ would/would not] adversely affect the delivery of governmental services, (e.g., water, sewer, garbage)  
See attached Exhibit  
\_\_\_\_\_
5. The applicant purchased the property [with/without] knowledge of the zoning restriction. Year the property was purchased: \_\_\_\_\_. Year the structure(s) was constructed: \_\_\_\_\_.



6. The applicant's predicament feasibly [can/cannot] be resolved through some method other than a variance. See attached Exhibit
7. The spirit and intent behind the zoning requirement [ would/would not] be observed and substantial justice [ done/not done] by granting the variance because  
See attached Exhibit
8. We believe the request should be granted due to the following hardship which is created by the property: (explain the hardship that exists *pursuant to the code*)  
See attached Exhibit

**Note: If granted, Use or Area variances will expire within one (1) year from the date of approval. Refer to Section 1139.04 (e) for specifics to timeline regulations for commencement of construction or Use continuation.**

I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent and agree to conform to all applicable laws, regulations, and ordinances of the city. I certify all information contained within this application and supplemental documents are true and accurate to the best of my knowledge and belief.

In addition, I, the undersigned responsible party (owner, occupant, tenant, or agent for the property owner) of the property described herein, do hereby consent to entry upon said property, at a reasonable time and to the extent necessary, by the City of Huron and its officers, employees, and/or agents for the purpose of inspecting said property for compliance with the City's Zoning and/or Building Codes. I further certify that I have authority to grant access to said property.

Date: 4-15-22 Signed Applicant

Date: 4-14-25 Signed Property Owner

(REQUIRED)

\*\*\*\*\*

**ZONING DEPT. USE ONLY**

Date received: \_\_\_\_\_ Application Complete

\$150 filing fee receipted: \_\_\_\_\_

Comments

Hearing Date \_\_\_\_\_

**EXHIBIT to**  
**The Board of Building and Zoning Appeals Application**  
**Robert T. Parisi, Jr. and Alice T. Parisi**  
**307 Munsee Place Huron OH 44839**

**Provide a brief summary of your proposed project:**

Applicants are proposing constructing an addition and reconstruction to their existing single-family residence on the premises located at 307 Munsee Place, which was originally constructed in 1951. The addition will be for an additional 833 square feet of space and will renovate and reconstruct certain aspects of the existing structure (tearing down 832 square feet replacing with 1,665 new renovated space). The Applicants have filed the necessary documentation with Erie County to combine the previous 2-permanent parcel numbers which comprised the premises, into one permanent parcel number and legal description (see attached Warranty Deed). The new proposed configuration of the structure on the premises will require the granting of a de minimus rear (10' 4 ½ ") area setback variance. Additionally, a left side area setback variance is also being requested of 5' 2", and the contiguous property owners have provided their consent to the granting of the left-side, area setback variance. The original structure on the right-side property line will not be altered as part of proposed-project and therefore a variance is not being requested for the right side property line and the reconstruction to the front portion of the residence will be within the 30' front setback. Please find enclosed Addition & Renovations Concept Plan Drawings, as prepared by architect Michael Rowe, for your review and consideration.

**We request a Hearing before the Board of BZA on the following question:**

Two setback, area variances are being requested: (i) rear setback variance of 10' 4 ½" ; and (iii) left side setback variance of 5' 2". The right-side setback lines are unchanged, as the original structure (single-family residence) will be unaltered on that property line and the reconstructions to the front of the residence will be within the 30' front setback.

**Use and/or Area Variance Questionnaire:**

1. The proposed addition and renovations and reconstruction of portions of the existing single-family residence cannot occur without the granting of the requested area variances. The Applicants and their family cannot utilize the property to its fullest potential and extent without completing the proposed renovations and additional to the existing residence, which was originally constructed back in 1951. The granting of the area variances requested will not be substantial nor against public policy. The proposed construction and the renovated structure and location on the premises will not negatively impact any of the adjoining property owners. In fact, 3 of the contiguous property owners (Tom & Sue Gibbons, Patrick & Yvette Scullin and Dan Dillon) have provided their consent to the proposed addition and the granting of the requested variances, *see enclosed consents*.

2. The requested rear setback, area variance is de minimus in nature, 10' 4 ½" of the 30' requirement for the rear setback. The left side setback variance request is for 5' 2" and the adjoining property owners (the Scullins) have provided their consent to the proposed addition and the granting of the requested area variances. With regard to the left side variance request, there is over 25' feet of space between the proposed renovated structure on the Applicant's property and the nearest structure on the Scullin property. The public interests will not be compromised, as many of the existing structures throughout the Old Homestead neighborhood are not in conformity with existing setback requirements found in the Huron Zoning

Ordinances and the Applicants' project and the renovated structure will not be inconsistent with the aesthetics or overall character of the neighborhood.

3. A significant number of the existing structures in the Old Homestead neighborhood are not in compliance with current setback requirements. Many of the structures were built originally as summer homes back in the 1940's – 1950's. Three of the neighboring property owners, who own property contiguous to the Applicants' premises, have provided consent to the Applicants' proposed construction and granting of the requested variances (*see the enclosed consents*). The aesthetics and overall character of the Old Homestead neighborhood will not be negatively impacted should the requested area variances be granted and the proposed new structure erected upon the Applicants' premises.

4. No governmental services or utilities will be adversely impacted as a result of the Applicants' proposed renovations and/or the granting of the requested area variances. Also, please note that there is nearly 25' of open space between the Applicant's proposed renovated structure and the nearest structure on the Scullin property.

6. The proposed renovations cannot be effectuated without the granting of the requested setback variances.

7. The insignificant deviations from the setback requirements will not result in a change of the character, aesthetics or nature of the Old Homestead neighborhood and 3- of the neighboring property owners, who own contiguous property to the Applicants' premises have provided their consents to the proposed construction and granting of the requested area variances.

8. An undue hardship would result to the Applicants, if the applicable setback ordinances are literally applied and their proposed renovations are not permitted to proceed, as the setback ordinances would be selectively enforced by The City of Huron against the Applicants. The selective enforcement would occur because a large majority of the existing structures in the Old Homestead development are non-compliant with the existing setback ordinance requirements. Once more, the Applicants will not be able to fully-utilize their property, if the requested area variances are not approved, and they will be forced to continue to utilize the property and its existing structure, with its original 1951 design and footprint.

**Transferred**  
 In Compliance with sections  
 319-202 and 322-02 of the  
 Ohio Revised Code.

FEE \$ \_\_\_\_\_

Exempt: ☒

R.E. TRANSFER:  
 \$ \_\_\_\_\_

Richard H. Jeffrey  
 Erie County Auditor

Trans. Fees: \$ 1.00

Date 3-5-2023

2023-03-05 10:20:30  
 Erie County Auditor  
 3-5-2023  
 Del. x4/11/23

Nicholas J. Smith  
 County Recorder Erie County OH  
 202501528 Total Pages: 3  
 03/05/2025 08:36:49 AM Fees: \$42.00

## WARRANTY DEED – JOINT & SURVIVORSHIP

KNOW ALL MEN BY THESE PRESENTS, that **ROBERT T. PARISI, JR.** married to Alice T. Parisi, the Grantor, for valuable consideration paid, the receipt and sufficiency of said consideration being hereby acknowledged, does hereby grant, convey, transfer and assign, with general warranty covenants, to **ROBERT T. PARISI, JR. and ALICE T. PARISI**, for their joint lives, remainder to the survivor of them, the Grantees, whose tax mailing address is 14522 Dexter Falls Road, Perrysburg, Ohio 43551 all interest which Grantor owns in and to the real property described on Exhibit A, attached hereto.

The general warranties found herein are subject to: (i) real estate taxes and assessments, both general and special, that are liens, but are not yet due and payable; (ii) building and use restrictions and zoning ordinances; and (iii) all restrictions of record, including, but not limited to all rights-of-way, easements, encumbrances and covenants.

**PRIOR INSTRUMENT REFERENCE:** RN 201711174 of the Erie County, Ohio Official Records

**PROPERTY ADDRESS:** 307 Munsee Place, Huron, Ohio 44839

**PARCEL NUMBERS:** 48-00188.000 and 48-00189.000 (PARCEL COMBINATION)

----- (CONTINUED ON NEXT PAGE) -----

Alice T. Parisi, wife of Grantor Robert T. Parisi, Jr., hereby releases all rights of dower to the real property described herein.

IN WITNESS WHEREOF, said Grantor, Robert T. Parisi, Jr., and his wife, Alice T. Parisi (to release her dower interest), have hereunto set their hands this 7th day of February, 2025.

Robert T. Parisi, Jr.  
Robert T. Parisi, Jr.

Alice T. Parisi  
Alice T. Parisi

STATE OF OHIO                    )  
  )  
ERIE COUNTY                    )       SS.

BE IT REMEMBERED THAT, on this 7th day of February, 2025, before me, the subscriber, personally came the above-named Robert T. Parisi, Jr. and Alice T. Parisi, husband and wife, and acknowledged the signing hereof to be their voluntary act and deed.

IN TESTIMONY WHEREOF, I have hereunto subscribed my name and affixed my seal on the day and year last aforesaid.

Darlene R. Balint  
NOTARY PUBLIC  
My commission expires: \_\_\_\_\_



Darlene R. Balint  
Notary Public, State of Ohio  
Recorded In Erie County  
My Commission Expires  
May 20, 2028

2028

**PREPARED BY:**  
JAMES E. PETERS, ESQ.  
REMINGER CO., LPA  
154 Columbus Avenue  
Sandusky, Ohio 44870  
419-609-1311

*Title to the real estate described herein has not been examined by James E. Peters, Esq. and Reminger Co., LPA and they make no warranty, representation or opinion (either express or implied) as to the marketability or condition of title, the quantity of lands, location of boundaries, existence of liens, unpaid taxes or encumbrances, or conformity of this deed to agreements between Grantor and Grantee.*

Parcel "A"  
Parisi Combined Acreage  
0.1687 Acre

Being situated in the State of Ohio, County of Erie, City of Huron, Old Homestead-on-the-Lake Subdivision (PV 8 PG 11), Lot 192 and Part Lot 193, T6N R22W, and being more definitely described as follows:

Beginning at 1/2" iron pin, set on the West right-of-way line of Munsee Place (40 FT), marking the Northeast corner of Lot 192 in said Old Homestead-on-the-Lake Subdivision;

(1) Thence South 01°30'26" East along the West right-of-way line of Munsee Place (40 FT), the same being the East line of Lots 192 & 193, a distance of 70.00 feet to a 1/2" iron pin, set, marking the Northeast corner of a parcel owned by David & Mary Scullin (BV 334 PG 382);

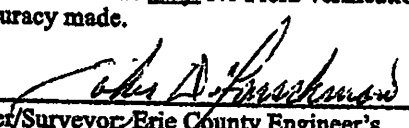
(2) Thence South 88°29'34" West along the North line of said Scullin parcel, a distance of 105.00 feet to a 1/2" iron pin, set on the West line of Lot 193, the same being the East line of Lot 188 and a parcel owned by Thomas & Susan Gibbons (RN 201708511);

(3) Thence North 01°30'26" West long the West line of Lots 193 & 192, The same being the East line of said Gibbons parcel and a parcel owned by Discovery Land LTD. (RN 201800872), a distance of 70.00 feet to a 3/4" iron pipe, found, marking the Northwest corner of said Lot 192, the same being the Southwest corner of a parcel owned by Michael Heil (DV 430 PG 594) and the Southwest corner of Lot 191;

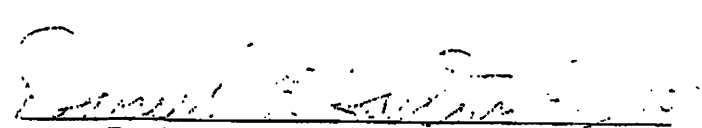
(4) Thence North 88°29'34" East along the South line of said Heil parcel and Lot 191, a distance of 105.00 feet to the point of beginning, containing 0.1687 acre, more or less, of which 0.0964 acre is in Lot 192 and 0.0723 acre is in Lot 193, but being subject to all legal highways, easements and restrictions of record.

The above description was prepared from an actual survey by Daniel E. Hartung Jr., Professional Surveyor No. 5667 in October 2024. The bearings were based on ODOT VRS.

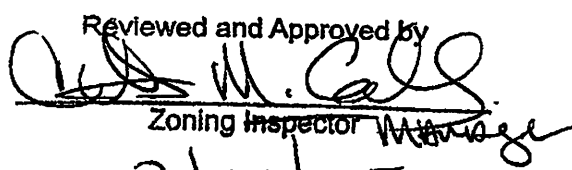
APPROVED as per Erie County Requirements  
And Sections 4733-37 thru 4733-37-07 of the Ohio  
Administrative Code only. No Field Verifications  
for Accuracy made.

  
Engineer/Surveyor Erie County Engineer's

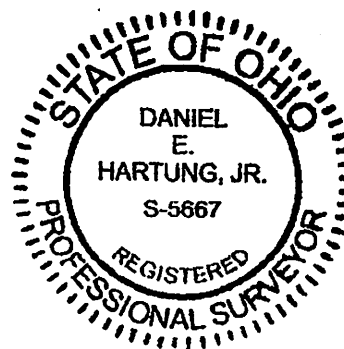
Date: 10-06-2024

  
Daniel E. Hartung Jr., PE, PS

Reviewed and Approved by

  
Zoning Inspector

2/19/25  
Date



**To Whom It May Concern:**

**We have reviewed the conceptual plan drawings for the structural renovations for the neighboring property, 307 Munsee Place, owned by Robert Parisi, Jr. and we have no objections to his plans. We have no reservations with the City of Huron issuing Bob a side/rear yard setback variance to build the renovated structure at the contemplated location. Please feel free to contact us at 419.460.2679, if you have any questions.**

**Sincerely,**

**Tom and Sue Gibbons**

**310 Tecumseh**

**Huron, Ohio 44839**

**From: Patrick & Yvette Scullin** <psysskull@yahoo.com>

**Date:** Wed, Feb 5, 2025 at 9:55 AM

**Subject:** Re: 307 Munsee Place

**To:** BobAlice Parisi <parisiart89@gmail.com>

Hello Bob and Alice,

I have spoken to my mother Marilyn Scullin as well as my two bottlers who assist in overseeing the property since the passing of my father. We are all agreeable on your request for the variance of your property.

If you need anything more feel

Free to reach out. Patrick Scullin

311 Munsee

Huron, Ohio 44839

Sent from my iPhone



**From:** Dan Dillon <[DDillon@pndbuildersltd.com](mailto:DDillon@pndbuildersltd.com)>  
**Date:** February 3, 2025 at 4:25:50 PM EST  
**To:** [parisiart89@gmail.com](mailto:parisiart89@gmail.com)  
**Cc:** Dan Dillon <[DDillon@pndbuildersltd.com](mailto:DDillon@pndbuildersltd.com)>  
**Subject:** FW: Variance for 307 Munsee Place, Huron, OH

Alice –

We, the contiguous owners of 306 Tecumseh Place, are in complete agreement and supportive of this variance request.

Dan Dillon

Dan Dillon

Vice President

P & D Builders Ltd.

59 Greif Parkway Suite 100

Delaware, OH 43015

Mobile: 614.207.3490

Office: 740.201.8079 x 201

E-mail: [ddillon@pndbuildersltd.com](mailto:ddillon@pndbuildersltd.com)

Website: [www.pndbuilders.com](http://www.pndbuilders.com)

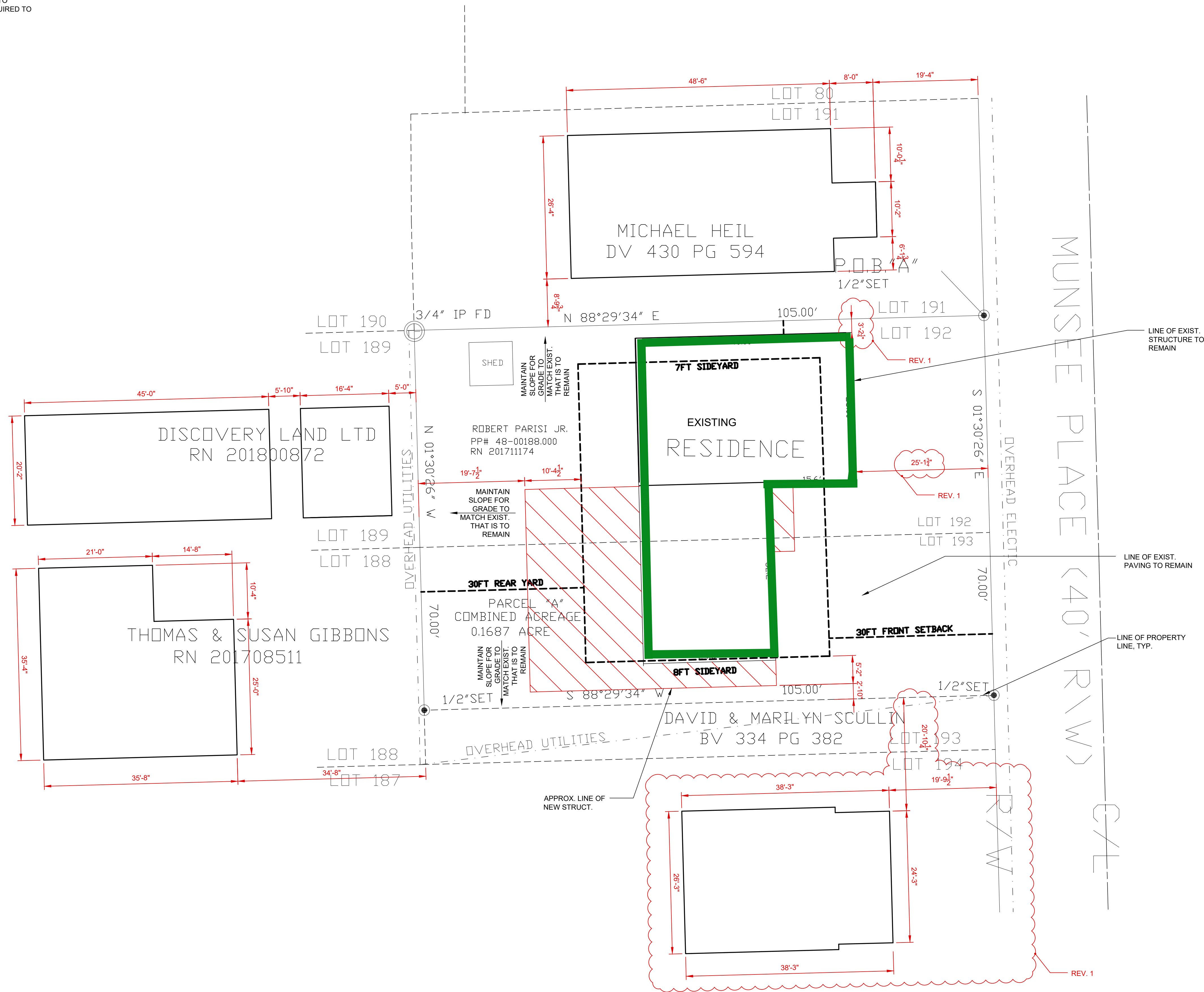
**OWNER: 306 Tecumseh**

**Huron, Ohio 44839**

NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES SERVICING THE HOUSE & RELOCATE AS REQUIRED TO MAKE WAY FOR NEW ADDITION.

NOTE: CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES SUCH AS BUT NOT LIMITED TO WELLS & SEPTIC SYSTEMS. CONTRACTOR TO MODIFY WELLS & SEPTIC SYSTEMS AS REQUIRED TO MEET CURRENT HEALTH DEPARTMENT REQUIREMENTS.

NOTE: SITE PLAN SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL SETBACKS & FINAL LOCATION OF NEW STRUCT. W/ OWNER IN FIELD



ADDITION & RENOVATIONS  
FOR  
**PARISI RESIDENCE**  
307 MUNSEE PLACE  
HURON, OHIO

**Michael Rowe**  
ARCHITECTURE L.L.C.  
M 419.344.9794  
E mrowearchitecture@gmail.com | 3704 Brown Road, Oregon, Ohio 43616

REVISIONS

1 04.17.25

JOB # 2430

PRINTS FOR  
BUILDING  
PERMIT ONLY

04.08.25

PERMIT SET

SHEET

C1.1



ADDITION & RENOVATIONS  
FOR  
PARISI RESIDENCE

307 MUNSEE PLACE  
HURON, OHIO

ADDITION & RENOVATIONS  
FOR  
PARISI RESIDENCE  
307 MUNSEE PLACE  
HURON, OHIO

SQUARE FOOTAGES:

	RENOVATION	ADDITION
FIRST FLOOR (PORCH)		48 S.F.
FIRST FLOOR (GARAGE)		914 S.F.
FIRST FLOOR (LIVING)		763 S.F.
FIRST FLOOR (LIVING)	674 S.F.	

(CALCULATIONS WERE MADE BASED ON PLAN DIMENSIONS ONLY, AND MAY VARY FROM FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT.)

LIST OF DRAWINGS:

- T1.1 TITLE SHEET  
C1.1 SITE PLAN  
D1.1 DEMO FOUNDATION & FIRST FLOOR PLAN  
A1.0 FOUNDATION PLAN & WALL SECTION  
A1.1 FIRST FLOOR PLAN  
A2.1 ROOF PLAN  
A3.1 EXTERIOR ELEVATIONS  
A3.2 EXTERIOR ELEVATIONS

GENERAL NOTES:

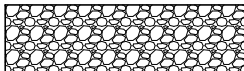
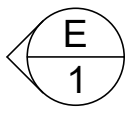
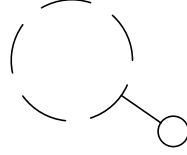

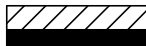
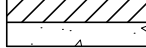

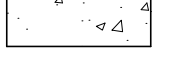
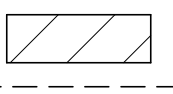
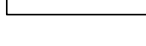
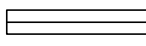
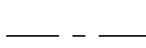
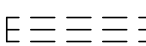
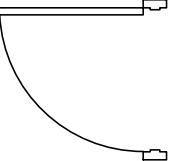
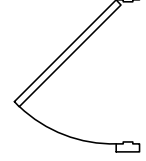
- ALL EXTERIOR FRAME WALLS FIGURED @ 6" THICK, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR FRAME & BRICK WALLS FIGURED @ 10" THICK, UNLESS OTHERWISE NOTED.
- ALL INTERIOR WALL FIGURED @ 3 1/2" THICK, UNLESS OTHERWISE NOTED.
- FOUNDATION WALL FIGURED @ 10" THICK, UNLESS OTHERWISE NOTED.
- INTERIOR DIMENSIONS ARE FROM FACE TO FACE OF FRAMING.
- EXTERIOR DIMENSIONS ARE FROM CUT TO CUT OF SHEATHING (OR BRICK, IF APPLICABLE).
- ALL INTERIOR PARTITIONS ARE 2X4 UNLESS OTHERWISE NOTED.
- LIVE LOADS:

FOOTINGS	2000 PSF
FIRST FLOOR	40 PSF
SECOND FLOOR	40 PSF
ROOF	20 PSF
- LUMBER GRADES: UNLESS OTHERWISE SPECIFIED, ALL WOOD FRAMING SHALL HAVE THE FOLLOWING MINIMUM VALUES.

#2 SPF	E = 1.4	MICRO-LAM
2X4	FB = 1509 PSI	E = 2.0
2X6	FB = 1308 PSI	FB = 2800
2X8	FB = 1208 PSI	FC = 500
2X10	FB = 1107 PSI	FV = 285
2X12	FB = 1006 PSI	
- PROVIDE 7/16" O.S.B. @ EXT. WALLS, UNLESS OTHERWISE NOTED.
- WINDOW SIZES & LOCATIONS ON DRAWINGS ARE CONCEPTUAL & FINAL SELECTION SHALL BE COORDINATED WITH OWNER.
- PROVIDE DOUBLE STUDS @ ALL LINTEL & WOOD BEAM BEARINGS, UNLESS OTHERWISE NOTED.
- ALL FRAMING TO BE #2 SPF OR BETTER.
- PROVIDE (2) 2X12 #2 SPF HEADERS @ EXTERIOR BEARING WALLS.
- ALL FOOTINGS ARE 24"x8", UNLESS OTHERWISE NOTED.
- 2X4 WALL TIES @ 4'-0" O.C. WHERE CEILING JOISTS ARE PERPENDICULAR TO RAFTERS.
- DOUBLE EVERY THIRD JOIST UNDER ALL TILE OR MARBLE FLOORS.
- ALL WALLS OVER 10'-0" HIGH SHALL BE 2X6 FRAMING.
- DOUBLE ALL FLOOR JOISTS UNDER ALL PARTITIONS THAT RUN PARALLEL TO THE FLOOR JOISTS OR PROVIDE BLOCKING TO NEXT ADJACENT DOUBLE JOIST.
- ALL FLOORS SHALL BE CROSS-BRIDGED W/ 1X3 BRIDGING 8'-0" O.C. MAX.
- PROVIDE EXHAUST FANS W/ SEPARATE SWITCHES IN ALL BATHS.
- PROVIDE HARD WIRED SMOKE SENSORS AS REQ'D. BY LOCAL CODE.
- BACK ALL BRICK, ALUM. & VINYL SIDING W/ HOUSE WRAP.
- ALL L.V.L. BEAMS TO BE JOINED TOGETHER, HUNG, & INSTALLED PER MANUF. SPEC'S.
- ALL HAND RAILS TO BE INSTALLED BETWEEN 34" - 36" ABOVE NOSING.
- ALL STAIRS TO REQUIRE A MIN. HEAD HEIGHT OF 6'-8" A.F.F.
- INSTALL TEMP. WINDOWS IN LOCATIONS AS REQ'D. BY CODE.
- ALL WORK SHALL COMPLY W/ THE LOCAL RESIDENTIAL CODE.

- USE ALL PRINTED DIMENSIONS ON DRAWING W/OUT SCALING THEM ON DRAWING. IF DISCREPANCY OCCURS, CONTACT ARCHITECT FOR CLARIFICATION.
- THIS SET OF DRAWINGS WERE PRODUCED TO MEET LOCAL CURRENT RESIDENTIAL CODE OF OHIO. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY COMPLIANCE WITH ALL OTHER CODES SUCH AS BUT NOT LIMITED TO MECHANICAL, PLUMBING, ELECTRICAL, FIRE, ENERGY AND HEALTH DEPARTMENT PRIOR TO THE START OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING ON SITE CONDITIONS IF ANY PRIOR TO THE START OF CONSTRUCTION AND CONTACT THE ARCHITECT IF ON SITE CONDITIONS DIFFER FROM DRAWINGS.
- CONTRACTOR IS RESPONSIBLE FOR ALL MEANS AND METHODS DURING THE PROJECT CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE ALL EXISTING ON SITE UTILITIES BEFORE THE START OF CONSTRUCTION.
- ALL BUILDING MATERIALS & OR SYSTEMS SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ALL WINDOW & VENT OPENINGS SHALL BE INSTALLED PER CODE REQUIRED EGRESS AND VENTILATION REQUIREMENTS.
- ALL BATHROOM FIXTURES SHALL BE INSTALLED PER CODE REQUIREMENTS.
- GUARD & HAND RAILS SHALL BE INSTALLED IN ACCORDANCE WITH CODE.
- ALL GARAGE COMMON WALLS TO BE SEPARATED FROM STRUCTURE WITH 5/8" FIRE RATED GYP. DRYWALL. ALL PENETRATIONS THRU WALL TO COMPLY WITH CODE.
- ALL LOCATIONS SUCH AS BUT NOT LIMITED TO ATTIC, FLOORS, SOFFITS, ETC. SHALL BE FIRE STOPPED AS REQUIRED BY CODE.
- AN ATTIC ACCESS SHALL BE PROVIDED WITH FINAL LOCATION & SIZE TO BE COORDINATED WITH OWNER AND CODE.
- ALL WINDOW & DOOR SILL LOCATIONS TO INCLUDE FLASHING TO PREVENT MOISTURE INFILTRATION.
- BRICK / STONE VENEER SHALL BE ANCHORED TO ALL SUPPORT WALLS AS MANUFACTURER REQUIRES ALONG WITH ALL REQUIRED WEEP HOLES INSTALLED.
- ALL ROOF CONDITIONS SHALL INCLUDE A POSITIVE SLOPE WITH SADDLES PROVIDED TO ALLOW FOR POSITIVE DRAINAGE AS REQUIRED AT LOCATIONS SUCH AS BUT NOT LIMITED TO CHIMNEYS.
- PROJECT TEAM SUCH AS BUT NOT LIMITED TO OWNER & CONTRACTOR SHALL HOLD MICHAEL ROWE ARCHITECTURE L.L.C. HARMLESS OF ALL CLAIMS OR LAWSUITS THAT MAYBE BROUGHT BEFORE, DURING, OR AFTER CONSTRUCTION OF PROJECT.
- CONTRACTOR TO PROVIDE VERTICAL PROP STUDS @ ALL ROOF FRAMING CONDITIONS FOR SUPPORT OF ROOF RIDGE BOARD /RAFTERS ABOVE.
- CONTRACTOR SHALL INSTALL ALL EXTERIOR VENEER PRODUCTS SUCH AS BUT NOT LIMITED TO MANUFACTURED STONE VENEER, BRICK MASONRY, CONCRETE BLOCK MASONRY, VINYL SIDING, WOOD SIDING, EIFS, ETC. IN COMPLIANCE W/ ALL MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
- IN RENOVATION & OR ADDITION PROJECTS, CONTRACTOR TO FIELD MEASURE ALL EXISTING CONDITIONS & BRING ANY POTENTIAL CONFLICTS OR DISCREPANCIES TO THE ARCHITECTS ATTENTION PRIOR TO THE START OF CONSTRUCTION.
- PROVIDE A MIN. OF (2) 2x4 WD. STUDS @ THE END BEARING OF ALL HEADERS, TYP.
- PROVIDE CARBON MONOXIDE ALARMS AS REQ'D. BY LOCAL CODE.

ABBREVIATIONS & SYMBOLS:

ACC.	- ACOUSTIC	HDR.	- HEADER		- CRUSHED STONE
ALUM.	- ALUMINUM	INSUL.	- INSULATION		- SECTION
APPROX.	- APPROXIMATELY	INT.	- INTERIOR		- BLOWN UP DETAIL
BLK.	- BLOCK	IN. OR "	- INCH		- STUD WALL - 3 1/2"
BLDG.	- BUILDING	LAV,	- LAVATORY		- STUD WALL & BRICK
BM.	- BEAM	L.V.L.	- LAMINATED VENEER LUMBER		- BRICK LEDGE (FNDN.)
BRG.	- BEARING	LG.	- LONG		- STUD WALL & SIDING - 4"
BSMT.	- BASEMENT	MAX.	- MAXIMUM		- CONCRETE WALL
BD.	- BOARD	MISC.	- MISCELLANEOUS		- CONCRETE BLOCK WALL
CAB.	- CABINET	MIN.	- MINIMUM		- 36" HALF WALL W/ WOOD CAP
CANT.	- CANTILEVER	N.T.S.	- NOT TO SCALE		- 36" SPINDLE RAILING
CONC.	- CONCRETE	N.	- NORTH		- STEEL BEAM
C.J.	- CEILING JOIST	NO.	- NUMBER		- LAMINATED BEAM
COL.	- COLUMN	O.H.D.	- OVERHEAD DOOR		- NEW DOOR W/ SIZE TO BE INCLUDED
CONT.	- CONTINUOUS	OP'G.	- OPENING		- EXISTING DOOR TO REMAIN
CLG.	- CEILING	O.C.	- ON CENTER		
DBL.	- DOUBLE	PLY.	- PLYWOOD		
DET.	- DETAIL	PSI	- POUNDS PER SQUARE INCH		
DIM.	- DIMENSION	# OR LBS.	- POUNDS		
DN.	- DOWN	REQ'D.	- POUNDS PER SQUARE FOOT		
DWG.	- DRAWING	RM.	- REQUIRED		
DIA.	- DIAMETER	R.O.	- ROOM		
DR.	- DOOR	REINF.	- ROUGH OPENING		
ELEC.	- ELECTRICAL	S.C.	- REINFORCED		
ELEV.	- ELEVATION	S.L.	- SOLID CORE		
ENT.	- ENTRY	STL.	- SIDE LITE		
EXIST.	- EXISTING	SQ.	- STEEL		
EA.	- EACH	S.	- SQUARE		
EXT.	- EXTERIOR	STRUCT.	- SOUTH		
E.	- EAST	SYB.	- STRUCTURAL		
FIN.	- FINISHED	T & G	- SYMBOL		
FNDN.	- FOUNDATION	TOIL. OR WC	- TONGUE AND GROOVE		
FT.	- FEET/ FOOT	TK.	- THICK		
F.J.	- FLOOR JOIST	TYP.	- TYPICAL		
FTG.	- FOOTING	VERT.	- VERTICAL		
FLR.	- FLOOR	W.P.	- WATERPROOF		
GL.	- GLASS	WD.	- WOOD		
GEN.	- GENERAL	W/	- WITH		
GYP.	- GYPSUM	W/O	- WITHOUT		
H.C.	- HOLLOW CORE	W.	- WEST		
HORIZ.	- HORIZONTAL				

REVISIONS

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JOB # 2430

PRINTS FOR  
BUILDING  
PERMIT ONLY

04.08.25

PERMIT SET

SHEET

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Michael Rowe  
ARCHITECTURE L.L.C.

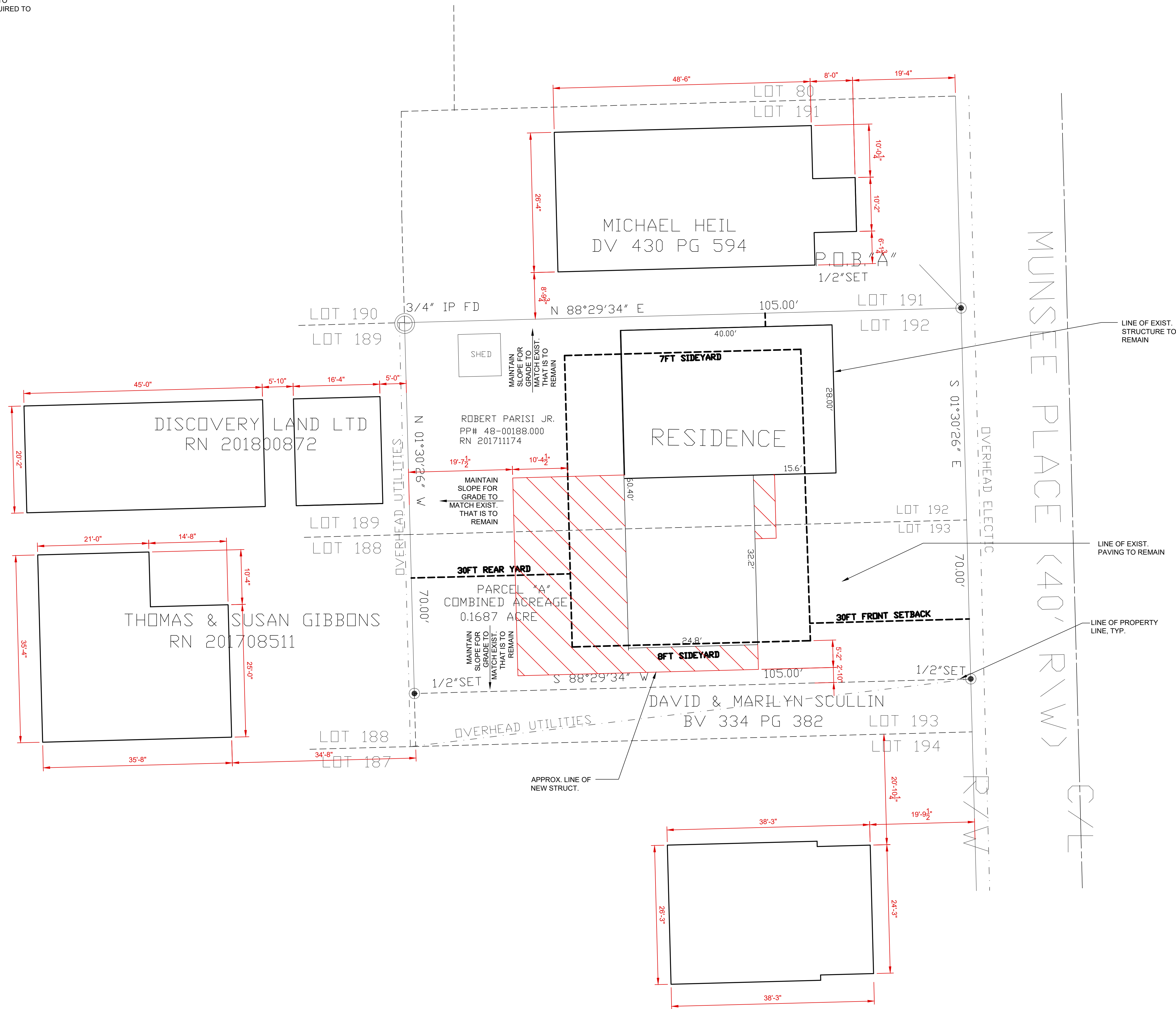
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E mrowearchitecture@gmail.com | 3704 Brown Road, Oregon, Ohio 43616



NOTE: CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES SERVICING THE HOUSE & RELOCATE AS REQUIRED TO MAKE WAY FOR NEW ADDITION.

NOTE: CONTRACTOR TO FIELD VERIFY LOCATION OF ALL EXISTING UTILITIES SUCH AS BUT NOT LIMITED TO WELLS & SEPTIC SYSTEMS. CONTRACTOR TO MODIFY WELLS & SEPTIC SYSTEMS AS REQUIRED TO MEET CURRENT HEALTH DEPARTMENT REQUIREMENTS.

NOTE: SITE PLAN SHOWN FOR REFERENCE ONLY. CONTRACTOR TO FIELD VERIFY ALL SETBACKS & FINAL LOCATION OF NEW STRUCT. W/ OWNER IN FIELD



N SITE PLAN  
SCALE: 1" = 10'-0"

ADDITION & RENOVATIONS  
FOR  
**PARISI RESIDENCE**  
307 MUNSEE PLACE  
HURON, OHIO

**Michael Rowe**  
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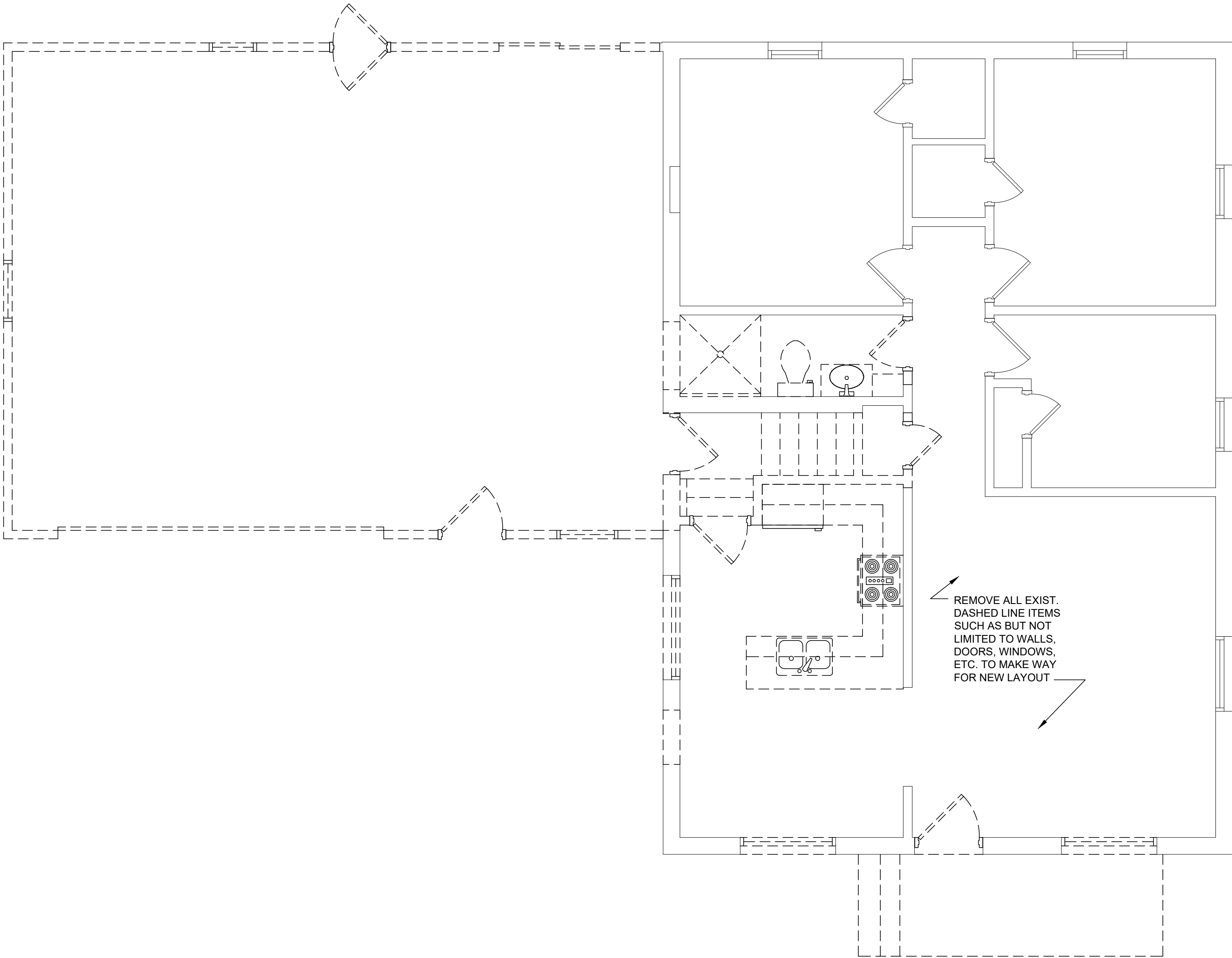
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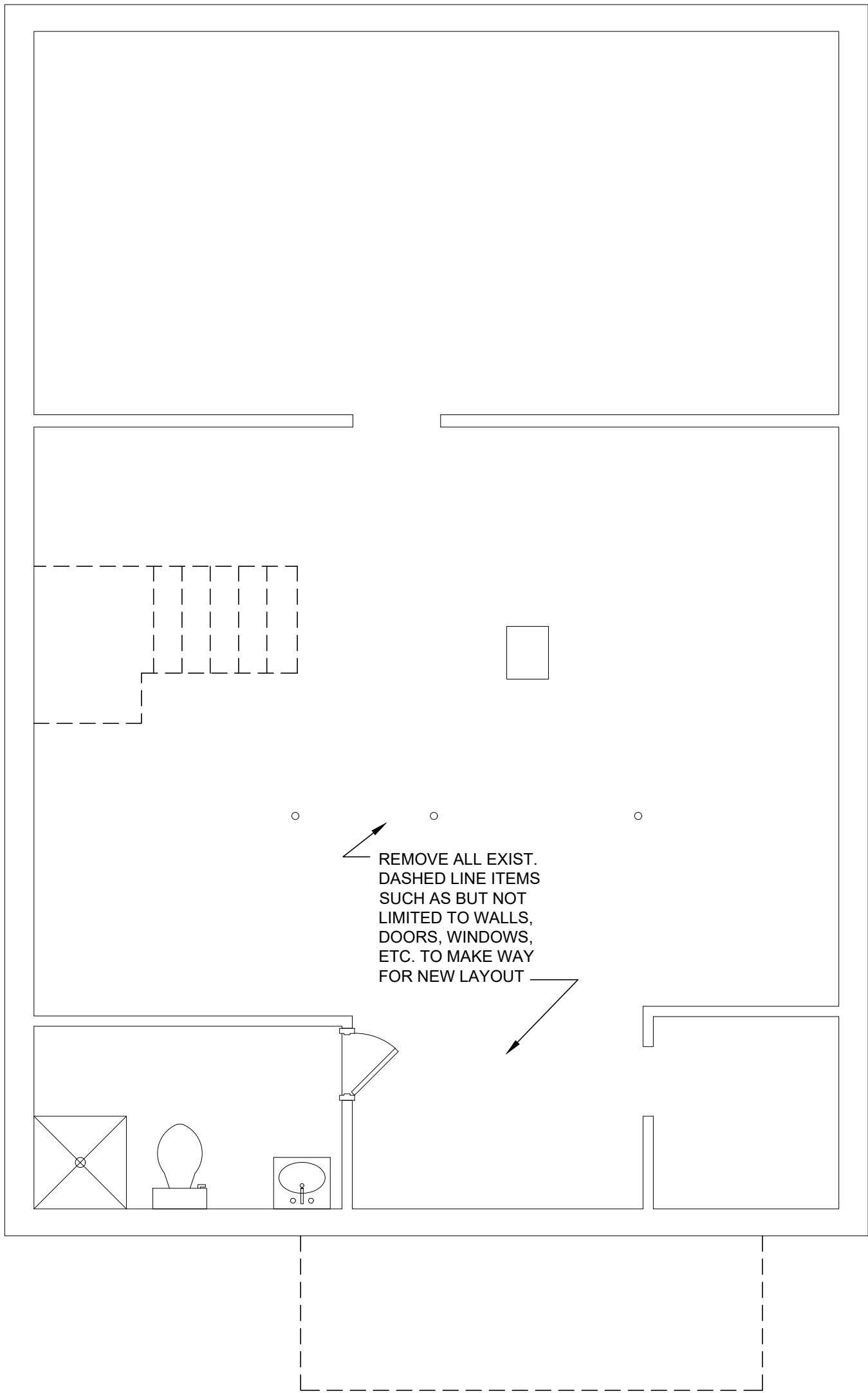
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NOTE: CONTRACTOR TO PROVIDE SHORING AS NEEDED TO MAKE SURE THAT THE EXISTING STRUCTURE REMAINS SQUARE ON ALL SIDES. SUPPORT FLOOR & WALLS AS NEEDED SO AS TO NOT OVER STRESS THE EXISTING FLOOR, WALL OR ROOF SYSTEM.

NOTE: CONTRACTOR TO NOTIFY ARCHITECT IF ANY EXPOSED OR CONCEALED ASSUMED STRUCTURAL ELEMENTS SUCH AS BUT NOT LIMITED TO JOISTS, HEADERS, ETC. ARE NOT AS INDICATED WITHIN DRAWINGS SO THAT THEY CAN THEN BE INSPECTED TO VERIFY THAT RENOVATION WORK AS DESCRIBED WITHIN DRAWINGS WILL STRUCTURALLY SUPPORT THE ASSOCIATED LOADS.



DEMO FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



DEMO FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

ADDITION & RENOVATIONS  
FOR  
**PARISI RESIDENCE**  
307 MUNSEE PLACE  
HURON, OHIO

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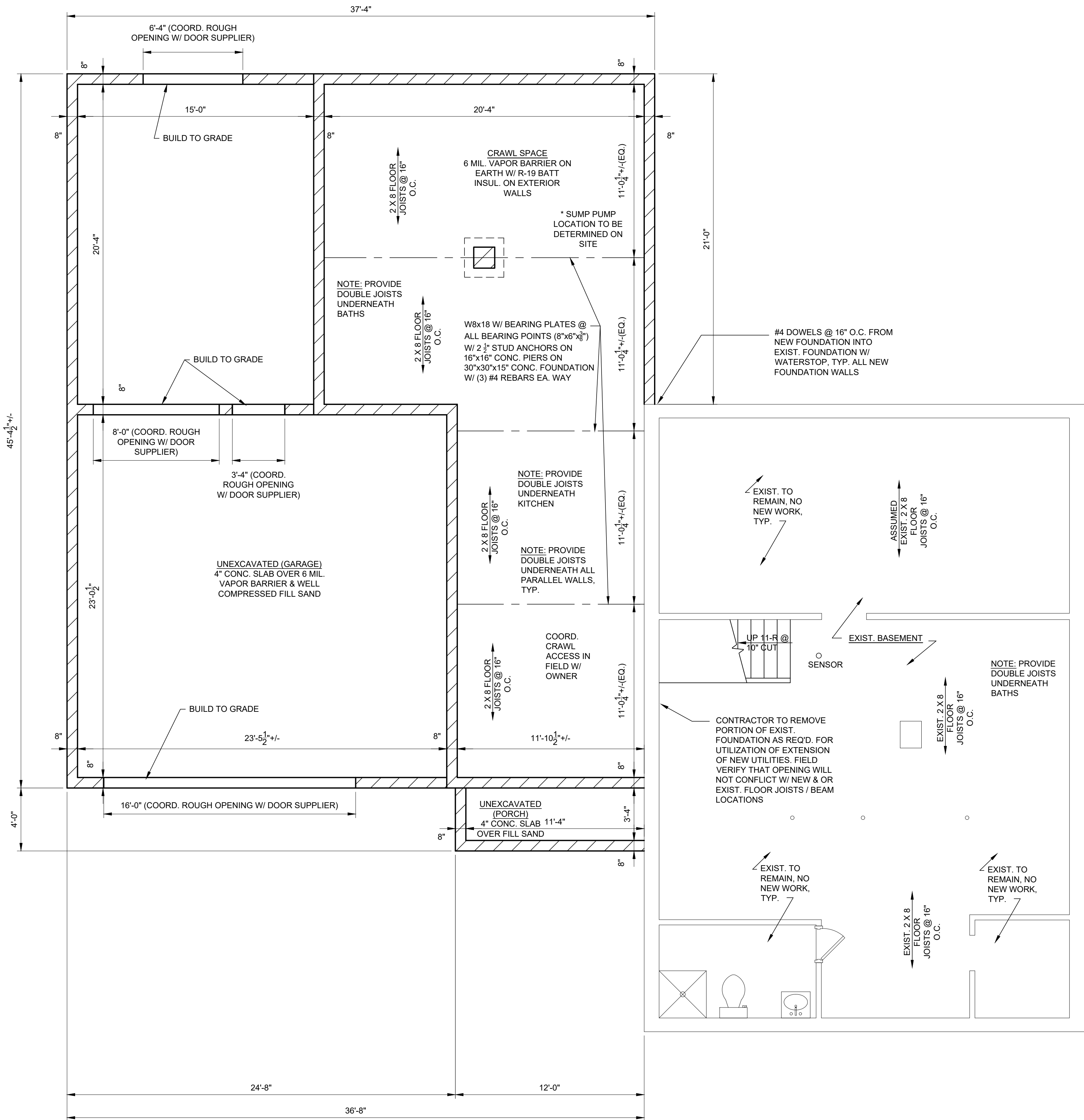
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FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"

NOTE: CRAWL SPACE IS UNVENTED & INSUL. SHALL BE PERMANENTLY FASTENED TO THE WALL & EXTEND DOWNWARD FROM THE FLOOR TO THE FINISHED GRADE LEVEL & THEN VERTICALLY AND/OR HORIZONTALLY FOR @ LEAST AN ADDITIONAL 24". EXPOSED EARTH SHALL IN UNVENTED CRAWL SPACE FOUNDATION SHALL BE COVERED WITH A CONT. CLASS 1 VAPOR RETARDER.

NOTE: CONTRACTOR TO INSPECT ALL EXIST. FOUNDATION WALL TO VERIFY THAT THEY ARE STRUCT. SOUND PRIOR TO ANY NEW WORK TO BE PERFORMED.

NOTE: PROVIDE DOWELS INTO FOUNDATION FOR THE #5 VERTICAL REBAR IN CRAWL SPACE WALLS

NOTE: CONTRACTOR TO IMPLEMENT ALL REQUIRED CODE CHANGES EFFECTIVE 01/01/18 FOR STEEL POST ANCHORAGE TO SLABS, WOOD WOOD & STEEL BEAM ANCHORAGE TO FOUNDATIONS, COLUMNS AND STEEL POSTS

NOTE: CONTRACTOR TO INSPECT & VERIFY THAT DEPTHS OF EXIST. FOUNDATIONS ARE AS INDICATED WITHIN DRAWINGS

NOTE: SUMP PUMP LOCATION TO BE DETERMINED ON SITE

NOTE: PROVIDE NEW CRAWL ACCESS WITHIN INTERIOR OF HOME, COORD. FINAL LOCATION W/ OWNER

NOTE: FOUNDATION WALLS ARE EXIST. & ARE TO REMAIN UNLESS OTHERWISE NOTED.

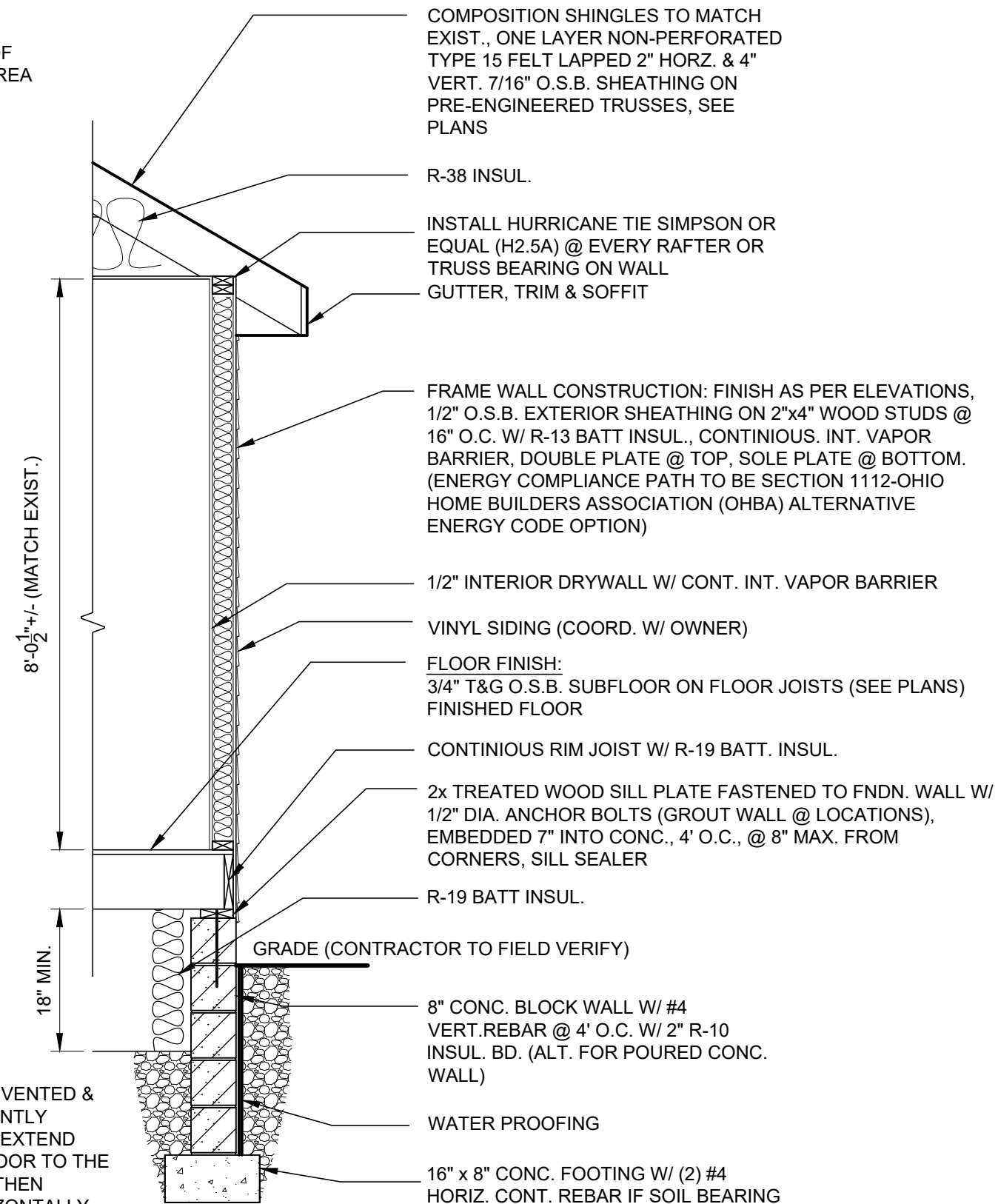
ICE-GUARD PROTECTION TO EXTEND FROM THE EDGE OF THE ROOF, 48" UP THE SLOPE BUT NOT LESS THAN 24" BEYOND THE INTERIOR FACE OF THE EXTERIOR WALL.

ROOF VENTILATION 1:150 OF THE INSULATED CEILING AREA UNIFORMLY DISTRIBUTED

NOTE: CRAWL SPACE IS UNVENTED & INSUL. SHALL BE PERMANENTLY FASTENED TO THE WALL & EXTEND DOWNWARD FROM THE FLOOR TO THE FINISHED GRADE LEVEL & THEN VERTICALLY AND/OR HORIZONTALLY FOR @ LEAST AN ADDITIONAL 24". EXPOSED EARTH SHALL IN UNVENTED CRAWL SPACE FOUNDATION SHALL BE COVERED WITH A CONT. CLASS 1 VAPOR RETARDER.

NOTE: CRAWL SPACE TO BE MECH. CONDITIONED TO MEET 408.3

TYP. WALL SECTION  
SCALE = 1/2" = 1'-0"



MINIMUM 36" FOOTER DEPTH

ADDITION & RENOVATIONS  
FOR  
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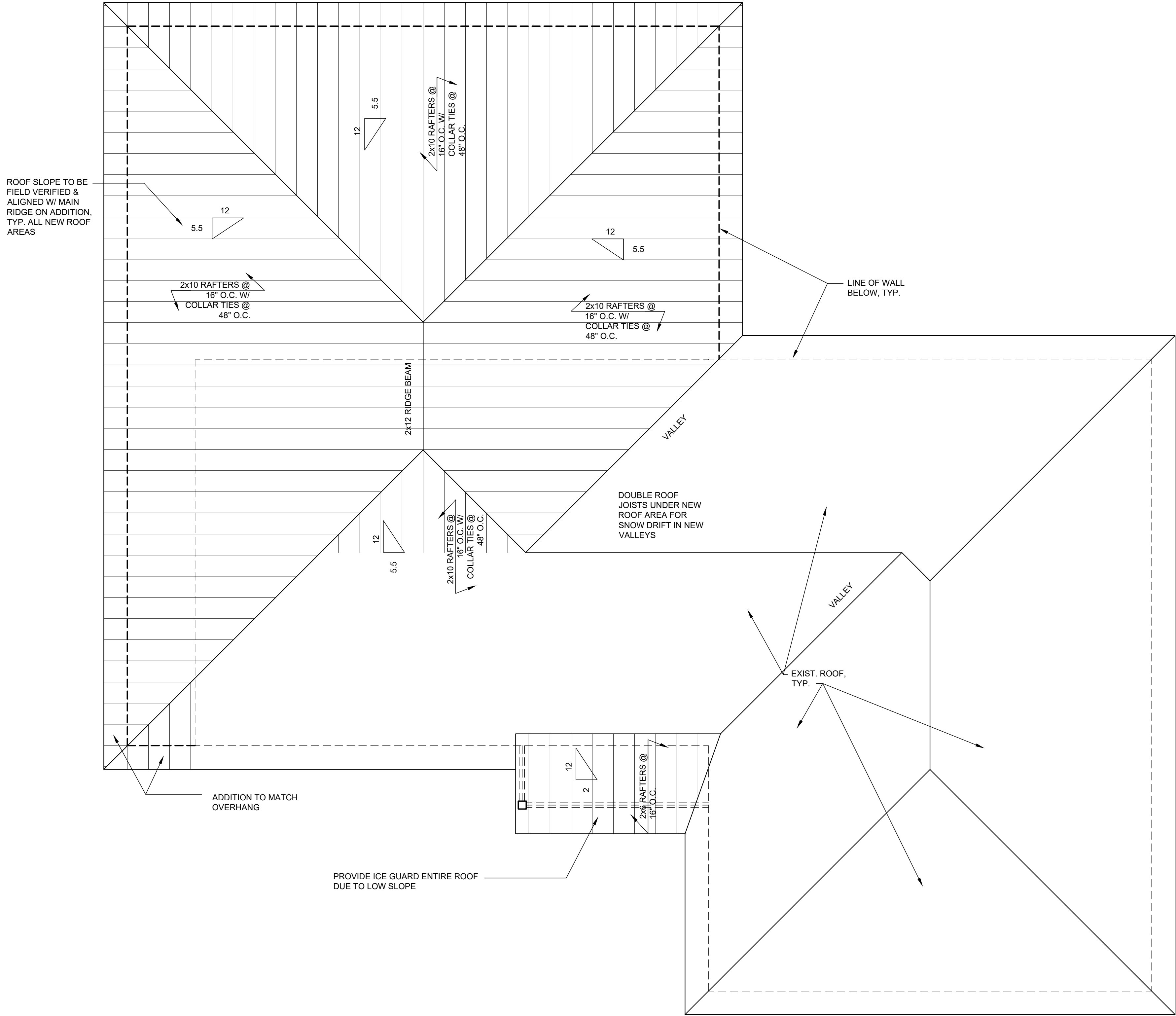
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ROOF PLAN  
SCALE: 1/4" = 1'-0"

- NOTE: ALT. FOR TRUSS TO BE DESIGNED FOR:
- TOP CHORD LIVE LOAD = 25 PSF
  - TOP CHORD DEAD LOAD = 10 PSF
  - BOTTOM CHORD DEAD LOAD = 10-15 PSF
  - BOTTOM CHORD LIVE LOAD = 0 PSF
  - TRUSS TO BE BRACED AS REQ'D. BY TRUSS MANUF.
  - DESIGN TRUSS FOR SNOW DRIFT/VALLEY
  - MAX SPACING IS 24" O.C.

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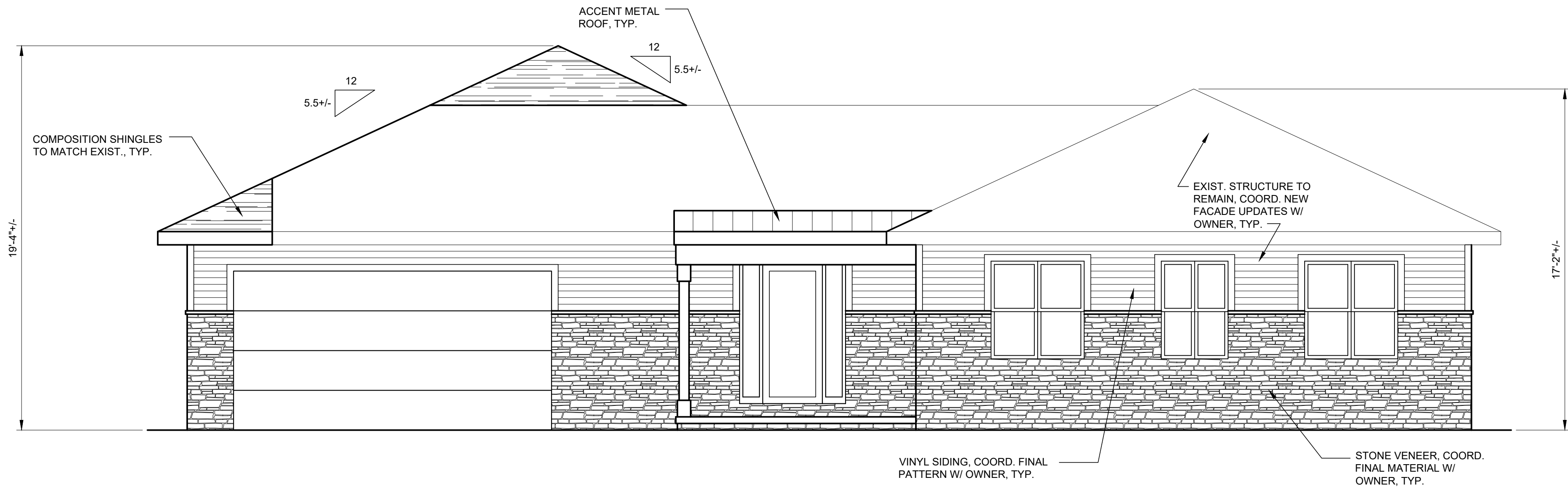
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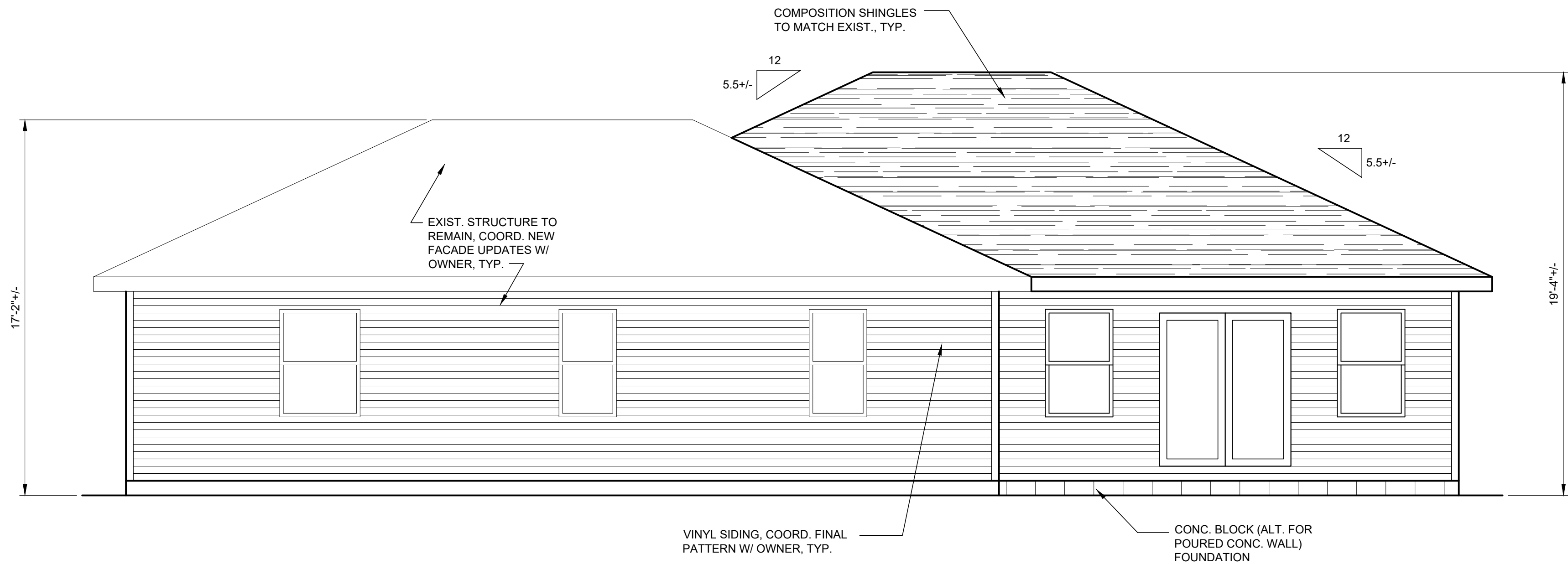
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A2.1





FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION  
SCALE: 1/4" = 1'-0"

ADDITION & RENOVATIONS  
FOR  
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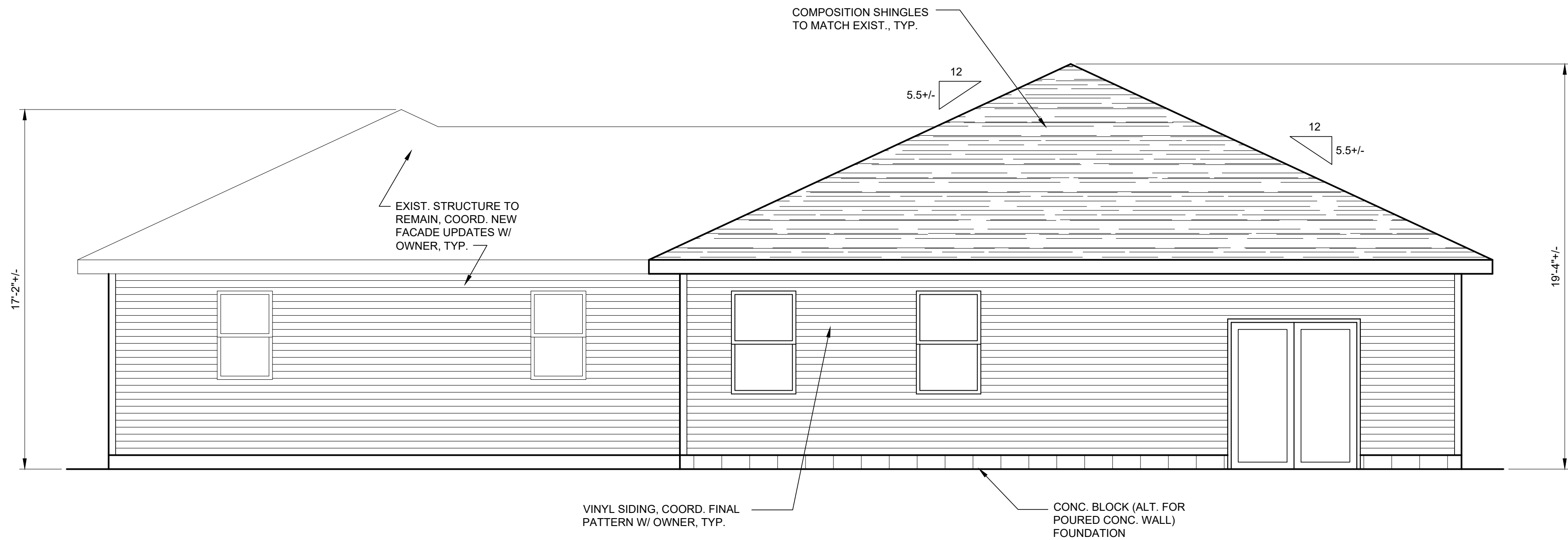
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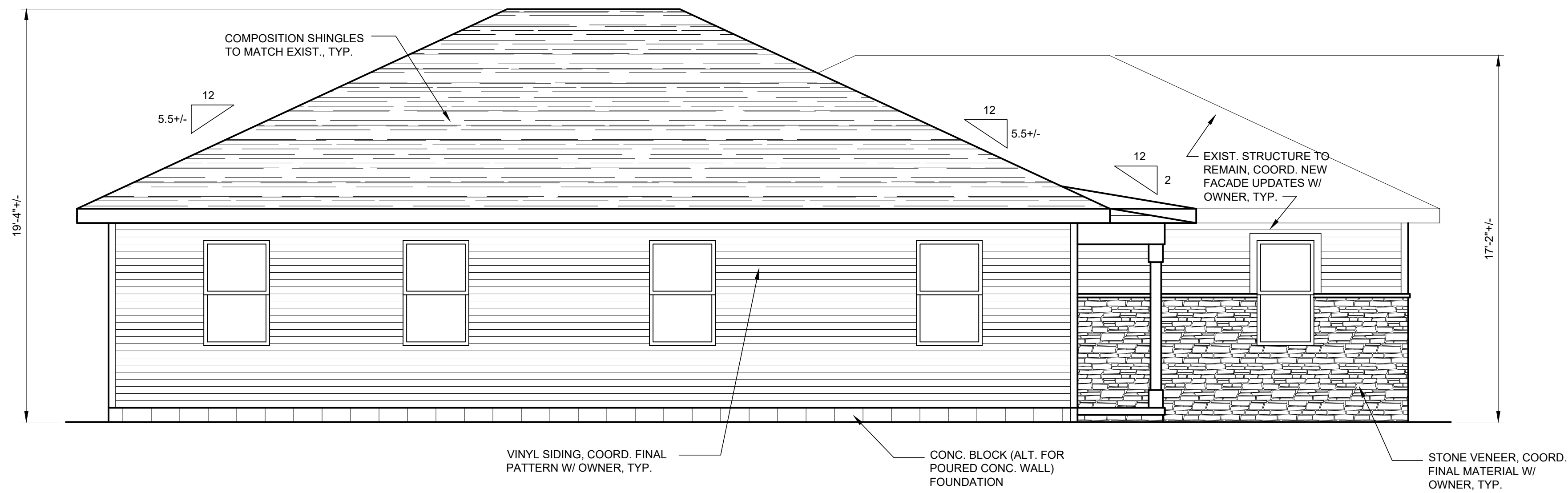
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A3.1



REAR ELEVATION  
SCALE: 1/4" = 1'-0"



LEFT ELEVATION  
SCALE: 1/4" = 1'-0"

ADDITION & RENOVATIONS  
FOR  
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A3.2



**TO:** Chairman Kath and Board Members  
**FROM:** Christine Gibboney, Planning & Zoning Manager  
**RE:** Area Variance: 408 Shawnee  
**DATE:** May 12, 2025

---

**408 Shawnee**                      **Zoning: R-1**                      **Parcel No.: 48-00117.000**

**Existing Land Use:**    **Single Family Residence**                      **Flood Zone: X**

**Property Size:**                      **140 x100**

**Traffic Considerations:**                      **n/a**

**Project Description- Area Variance- Detached Accessory Structure**

Applicant is proposing two additions to the existing detached garage: one to the front and one to the interior side. The detached garage, as existing, is non-compliant for the rear and left side yard setbacks. As proposed, this project will require a left side yard variance, a height variance, and a variance to allow a portion of the garage addition to be located in the side yard (addition extends beyond the rear corner of the home)

**APPLICABLE CODE SECTIONS/SPECIFICATIONS**

**1123.01 R-1 ONE -FAMILY RESIDENCE DISTRICT**

(d) Height Regulations. No principal structure shall exceed thirty-five feet in height, and no detached accessory structure shall exceed one story or fifteen feet in height, except as provided in Section [1137.02](#).

**1121.06 EFFECTS OF DISTRICTING AND GENERAL REGULATIONS**

(g) Accessory Uses in R Districts. An accessory building may be erected detached from the principal building or it may be erected as an integral part of the principal building. Except as provided in Section 1137.03, no detached accessory building shall be erected in any required yard or court except a rear yard and shall not occupy more than thirty-five percent (35%) of the rear yard. Detached accessory buildings shall be distant at least six feet from any dwelling situated on the same lot, unless an integral part thereof, at least six feet from any other accessory building and at least five feet from all lot lines of adjoining lots which are within any R District. (Ord. 2005-29. Passed 2-14-05.)

**1137.03 YARD MODIFICATIONS.**

(a) Average Depth of Front Yards. The required minimum front yard depth of any lot in any R District shall be modified to be at least equal to the average front yard depth of lots immediately adjoining it and within the same block front. Such modification will be made only if such average front yard depth is not equal to the required minimum front yard depth. The modified required minimum front yard depth of such lot shall be at least ten feet and not exceed fifty feet. If any immediately adjoining lot is vacant, then the front yard depth of such immediately adjoining lot will be presumed to be the required minimum front yard depth.

In any R District where the natural grade of a lot within the required front yard has an average slope, normal to the front lot line at every point along such line, of such a degree or percent of slope that it is not practicable to provide a driveway with a grade of twelve percent (12%) or less to a private garage conforming to the requirements of this chapter, such garage may be located within such front yard, but not in any case closer than six feet to the street line.

Buildings on lots having frontage on two nonintersecting streets need not have a rear yard if an equivalent open space is provided, however, on both streets. (Ord. 2024-47)

***Since the proposed variance falls under the “area variance” category, the following criteria should be examined to establish if there are practical difficulties in the use of the property (The Seven (7) Way Test-Duncan vs The Village of Middlefield) MEMBERS SHOULD REVIEW AND APPLY THIS CRITERIA ON THE RECORD:***

- 1. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.***
- 2. Whether the variance is substantial.***
- 3. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance.***
- 4. Whether the variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).***
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction or if the need for the variance is “self-imposed.” (The owner created the situation)***
- 6. Whether the property owner’s predicament feasibly can be obviated through some method other than a variance.***
- 7. Whether the spirit and intent behind the zoning requirement would be observed substantial justice done by granting the variance.***

#### **Staff Analysis**

The existing detached garage was built in 1954 and is considered pre-existing/nonconforming to the code due to the rear (3') and left (4') side setbacks. It complies with location (rear yard), height (15' max), and distances to the primary dwelling and other accessory structures (6' min).

The rear yard is approximately 5,084 sq. ft. Current structures in the rear yard total 1,584 sq. ft., the bump out addition is adding an additional 50 sq. ft, for a total of 1,634 sq.ft. The 35% build out max is 1,779 sq. ft, therefore they are compliant with this regulation.

#### **As existing (Detached Garage)**

Front	Rear	Side-Right	Side-Left
n/a	3' (5' required)	n/a	4' (5' required)

The addition to the front of the garage will align with the existing garage at 4' from the left-side property line and would require a variance.

A portion of the addition extends past the rear corner of the home, which makes its location within the "side yard". The code requires accessory structures to be in the rear yard only, this will require a variance.

The applicant is proposing the overall height of the garage at 20'-4" in order to gain attic space for storage and to match renovations plans for the existing residence, this would require a height variance.

**As proposed, the garage additions will require the following variances to Section 1121.06:**

- A variance to allow a 3'-4" portion of the front of the garage to encroach into the side yard.
- A 1' left side yard setback variance.
- A 5'-4" height variance

**Depending on the discussion and findings of the BZA, members may wish to make separate motions on each of the variance items.**

#### **Motion Examples**

**[PLEASE STATE WHY YOU ARE APPROVING OR DENYING FOR THE RECORD, USING THE SEVEN WAY TEST CRITERIA]**

Motion to **APPROVE** the variance request:

I make the motion to **approve** the request for area variances at 408 Shawnee Place for the following setback variances for additions to a detached garage:

- A variance to allow a 3'-4" portion of the garage to encroach into the side yard.
- A 1' left side yard setback variance.
- A 5'-4" height variance

as submitted, as the testimony presented in this public hearing has shown that ***(Choose one or more appropriate finding(s) and specific items based on the seven-way test)***

- ***The property in question would not yield a reasonable return or would not have any beneficial use without the variance.***
- ***The variance is not substantial.***
- ***The essential character of the neighborhood would not be substantially altered and/or the adjoining properties would not suffer a substantial detriment as a result of the variance.***
- ***The variance would not adversely affect the delivery of governmental services (for example, water, sewer, garbage).***
- ***The property owner purchased the property without the knowledge of the zoning restriction and/or the need for the variance is not "self-imposed." (The owner did not create the situation)***
- ***The property owner's predicament feasibly cannot be obviated through some method other than a variance.***
- ***The spirit and intent behind the zoning requirement would be observed, substantial justice done by granting the variance.***

OR

Motion to **DENY** the variance request:

I make the motion to **deny** the request for area variances

at 408 Shawnee Place for the following setback variances for additions to a detached garage:

- A variance to allow a 3'-4" portion of the garage to encroach into the side yard.
- A 1' left side yard setback variance.
- A 5'-4" height variance

as sufficient testimony has **not** been presented in this public hearing that the requested variance meets the criteria set forth in the seven-way test as the:

***(Choose one or more appropriate finding(s) and specific items based on the seven-way test)***

- ***The property in question would yield a reasonable return and/or would have beneficial use without the variance.***
- ***The variance is substantial.***
- ***The essential character of the neighborhood would be substantially altered and/or the adjoining properties would suffer a substantial detriment as a result of the variance.***
- ***The variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).***
- ***The property owner purchased the property with the knowledge of the zoning restriction and/or the need for the variance is "self-imposed." (The owner created the situation)***
- ***The property owner's predicament feasibly cannot be obviated through some method other than a variance.***
- ***The spirit and intent behind the zoning requirement would not be observed, substantial justice would not be done by granting the variance.***



99.49

408

361

140

3197

362

140

363

99.46



**CITY OF HURON**  
**Planning & Zoning Department**  
**417 MAIN STREET, HURON, OH 44839**

**THE BOARD OF BUILDING AND ZONING APPEALS APPLICATION**  
Completion of all applicable sections required. Incomplete applications will not be accepted.

We, the undersigned represent that we are the title owners of the following described property situated in the City of Huron, OH:

Applicant's Name Mr. and Mrs. Terry Donelon (Susan)

Property Owners' Name: (same as above)

Address: 409 Shaunee Place

City, State, Zip: Huron, Ohio 44839

Phone Number (216) 957-4174

Email: terrydonelon@gmail.com / sdonelon44@gmail.com

**Location of Project:**

Lot/Parcel #: #RN 201909031 PART LOT #300 & WHOLE Zoning District: R-1

Address: 409 Shaunee Place Huron, OH 44839.

Year purchased: 2019 Year the existing structure was constructed: HOUSE: 1954  
GARAGE: 1954  
Single Story Home: Two Story Home: X POOL/POOLHOUSE: 2021

Provide a brief summary of your proposed project:

Additions to existing detached garage structure on the "west-side" (street-view) and "south-side" with increasing the roof pitch from a 7:12 pitch to a 12:12 pitch to gain attic space (storage) and match renovation plans (roof pitch) on existing residence

Type:

- Area Variance: Subdivision Regulations      Parking      Setbacks X  
Height X Size      Flood Plain      Sign Regulations
- Use Variance:
- Conditionally Permitted Use:



We request a Hearing before the Board of Building and Zoning Appeals of the City of Huron, Ohio, on the following question: (State the specific details of the variance being requested. Example: Area variance- 1' side setback variance is required for the proposed addition; Use Variance- State the type of use; or Conditionally Permitted Use approval)

North side yard setback requires 5 min. Current structure sits 4'-0" from property line, need a 1' foot variance for north side. Current structure height is 15', would like to increase to 20'-4" (match roof pitch) need a height variance of 5'-4" to 20'-4" allowable height. Need a 3'-4" variance for detached garage to be in front of rear house line.

#### Conditionally Permitted Use Approval

The following uses shall be permitted only if authorized by the Board of Building & Zoning Appeals in accordance with the provisions of Section 1139.02. State the type of use being proposed and the applicable code section:

Code Section: \_\_\_\_\_

(skip to Page 7, Sign and Date Application)

#### Use and/or Area Variance Questionnaire

1. The property in question [ will/will not] yield a reasonable return and there [ can/cannot] be a beneficial use of the property without the variance because:  
The existing garage can not be enlarged or renovated without a variance approval.
2. The variance is [substantial/insubstantial] because:  
The existing garage is already 4' and 3' from property lines and additions will not approach any closer than already exist.
3. The essential character of the neighborhood [would/would not] be substantially altered or adjoining properties [would/would not] suffer a substantial detriment as a result of the variance because:  
The existing garage and additions will enhance the character of the existing structure and tie in with the renovations to the existing residence (see elevations).
4. The variance [ would/would not] adversely affect the delivery of governmental services, (e.g., water, sewer, garbage)  
All governmental services shall remain unchanged.
5. The applicant purchased the property [with/without] knowledge of the zoning restriction. Year the property was purchased: 2019. Year the structure(s) was constructed: 1954 & 2021.

LIST OF PROPERTY/NEIGHBORS WITH IN 150' :

(OF 408 Shawnee Place)


- 1.) AMY/CRAIG SNYDER  
404 Shawnee Place
- 2.) MARK/DARLEANE AYERS  
407 Shawnee Place
- 3.) STEPHANIE SMITH  
414 Shawnee Place
- 4.) SEAN/CHERYL ROCHE  
411 Shawnee Place
- 5.) TIM/VICKI MYERS  
407 Kiwanis Ave.
- 6.) SUSAN SPOHN  
405 Kiwanis Ave.
- 7.) TOM/MARY HETTERBERG  
409 Kiwanis Ave.
- 8.) HEIDI EVANS  
401 Kiwanis Ave.

6. The applicant's predicament feasibly [can/cannot] be resolved through some method other than a variance.
7. The spirit and intent behind the zoning requirement [ would/would not] be observed and substantial justice [ done/not done] by granting the variance because The existing garage already exist closer than allowed and has not caused any problems with adjoining properties since 1954.
8. We believe the request should be granted due to the following hardship which is created by the property: (explain the hardship that exists *pursuant to the code*)  
Current garage (1954) was built at a location which is now closer than allowable. Moving of the existing structure would be impossible. Any renovation work to garage needs a variance to do because structure is a non-conforming use.

**Note:** If granted, Use or Area variances will expire within one (1) year from the date of approval. Refer to Section 1139.04 (e) for specifics to timeline regulations for commencement of construction or Use continuation.

I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent and agree to conform to all applicable laws, regulations, and ordinances of the city. I certify all information contained within this application and supplemental documents are true and accurate to the best of my knowledge and belief.

In addition, I, the undersigned responsible party (owner, occupant, tenant, or agent for the property owner) of the property described herein, do hereby consent to entry upon said property, at a reasonable time and to the extent necessary, by the City of Huron and its officers, employees, and/or agents for the purpose of inspecting said property for compliance with the City's Zoning and/or Building Codes. I further certify that I have authority to grant access to said property.

Date: <u>4/15/25</u>	Signed Applicant		THOMAS W. BODDE ARCHITECT
Date: <u>4/15/25</u>	Signed Property Owner	<u>2 EOL</u>	Terrence E. Donelon Home Owner

(REQUIRED)

\*\*\*\*\*

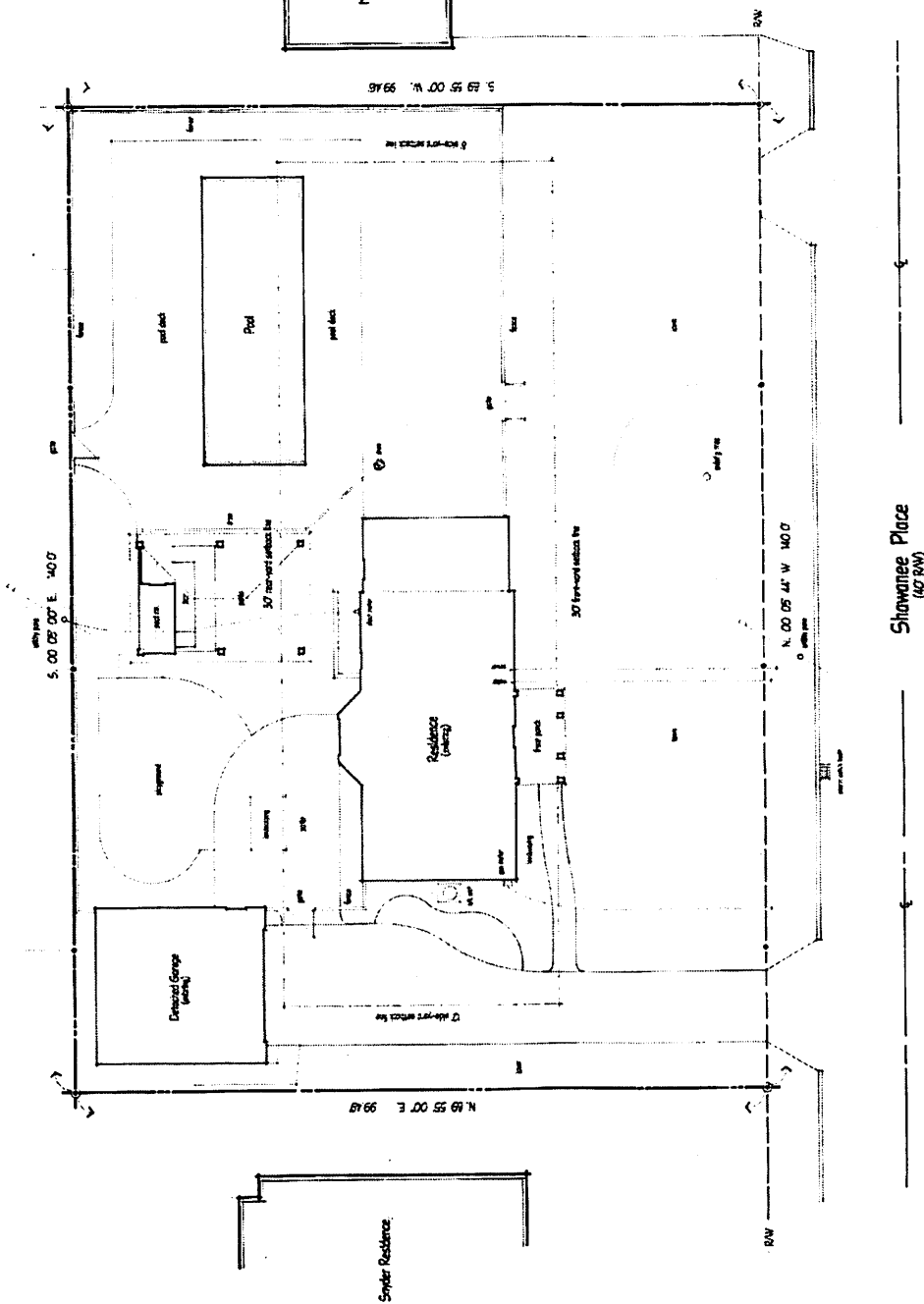
**ZONING DEPT. USE ONLY**

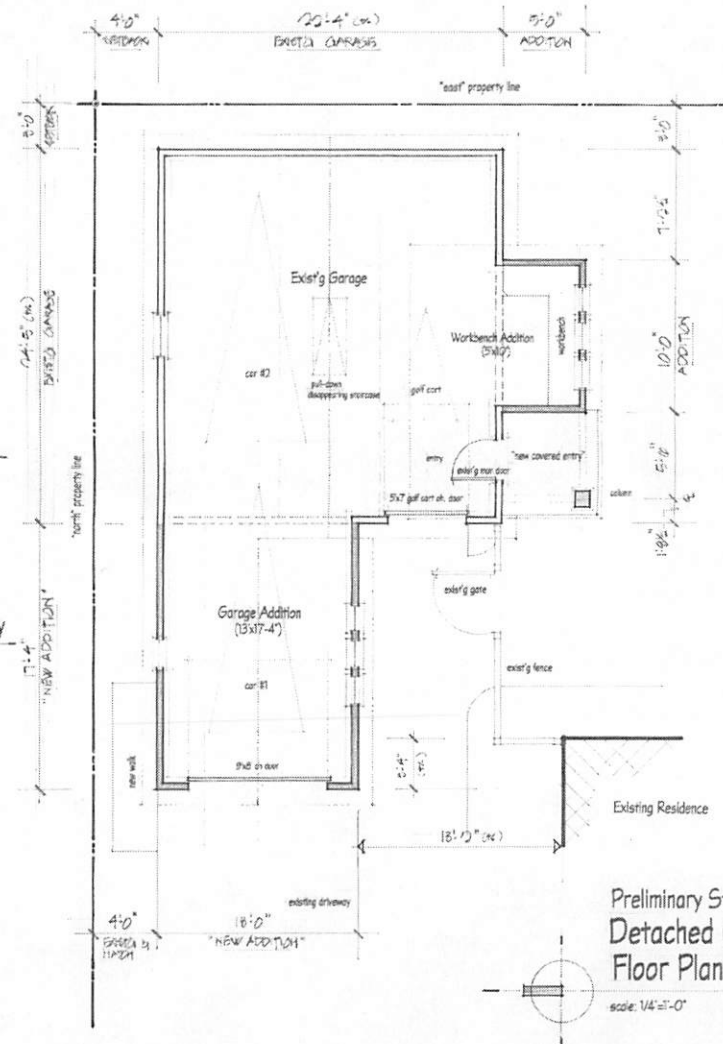
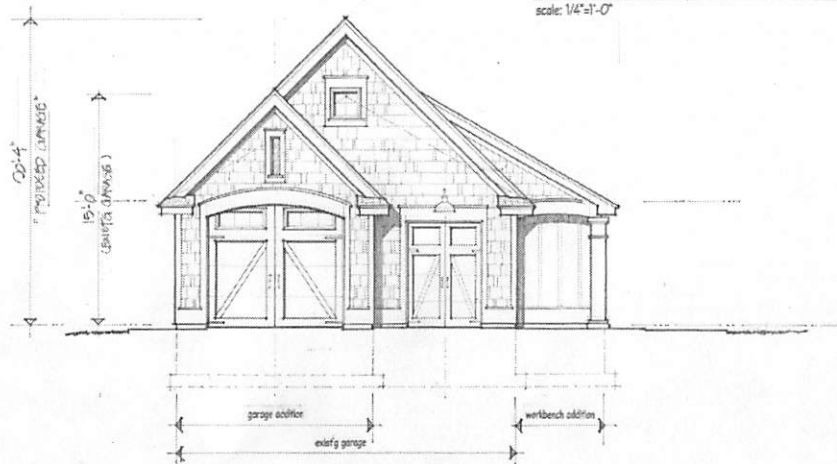
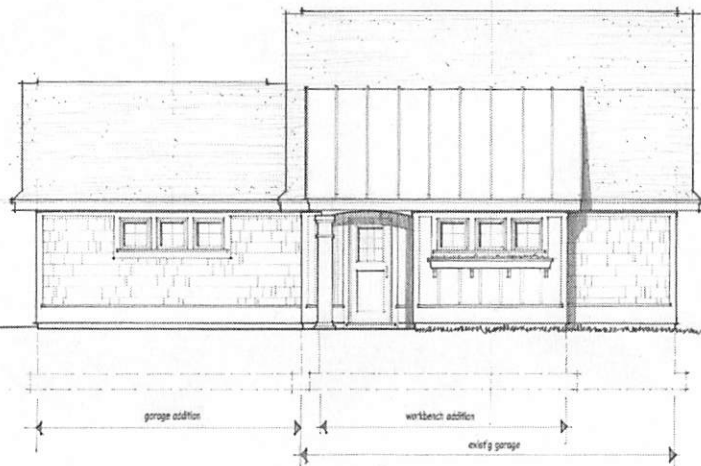
Date received: \_\_\_\_\_ Application Complete

\$150 filing fee receipted: \_\_\_\_\_

Comments

Hearing Date





Renovations and Addition to:  
Mr. and Mrs. Donelon Residence  
406 Shawnee Place - Old Homestead Huron, Ohio



**TO:** Chairman Kath and Board Members  
**FROM:** Christine Gibboney, Planning & Zoning Manager  
**RE:** Area Variance: 412 Wasta  
**DATE:** May 12, 2025

---

**412 Wasta**                      **Zoning:** R-1                      **Parcel No.:** 49-00089.000

**Existing Land Use:**                      **Single Family Residence**                      **Flood Zone:** X

**Property Size:**                      **102 x 95**

**Traffic Considerations:**                      **n/a**

**Project Description- Area Variance- Rear Yard Setback**

The applicant is proposing a rear yard covered patio addition, with motorized screens, and a fireplace. As proposed, the covered patio addition will require a rear yard setback variance.

**Applicable Code Sections/Specifications**

**1123.01- R-1 Single Family Residential**

				<u>Side Yards</u>		
<u>Dwelling</u> (stories)	<u>Lot Area</u> (sq. ft.)	<u>Lot Frontage</u> (ft.)	<u>Front</u> <u>Yard</u> <u>Depth</u> (ft.)	<u>Least</u> <u>Width</u> (ft.)	<u>Sum of</u> <u>Width</u> (ft.)	<u>Rear</u> <u>Yard</u> <u>Depth</u> (ft.)
1	9,000	75	30	7	15	30
2	9,000	75	30	8	20	30

***Since the proposed variance falls under the “area variance” category, the following criteria should be examined to establish if there are practical difficulties in the use of the property (The Seven (7) Way Test-Duncan vs The Village of Middlefield) MEMBERS SHOULD REVIEW AND APPLY THIS CRITERIA ON THE RECORD:***

- 1. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.***
- 2. Whether the variance is substantial.***
- 3. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance.***
- 4. Whether the variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).***
- 5. Whether the property owner purchased the property with knowledge of the zoning restriction or if the need for the variance is “self-imposed.” (The owner created the situation)***

6. *Whether the property owner's predicament feasibly can be obviated through some method other than a variance.*
7. *Whether the spirit and intent behind the zoning requirement would be observed substantial justice done by granting the variance.*

### **Staff Analysis**

The existing two- story home was built in 1940 and is pre-existing/nonconforming to the code for the current rear yard setback which is 4'-10" (30' required) . The side yard setbacks are compliant with the 8'min/20 sum for a two-story home.

The applicant is proposing a covered rear yard patio with motorized screen panels and a fireplace. As proposed, the covered patio will comply with side yard setbacks and height . The proposed rear yard setback for this covered patio is 19'-6 ¼" and will require a rear yard setback variance.

**As proposed, the following variances are required:**

- ~~9'-6 ¾" rear yard setback variance.~~ CORRECTION: 10'-5 ¾" REAR YARD SETBACK VARIANCE

### **Motion Examples**

**[PLEASE STATE WHY YOU ARE APPROVING OR DENYING FOR THE RECORD, USING THE SEVEN WAY TEST CRITERIA]**

Motion to **APPROVE** the variance request:

I make the motion to **approve** the request for area variance at 412 Wasta Ave for a 10'-5 ¾" rear yard setback variance for a covered rear yard patio addition as submitted, as the testimony presented in this public hearing has shown that *(Choose one or more appropriate finding(s) and specific items based on the seven-way test)*

- *The property in question would not yield a reasonable return or would not have any beneficial use without the variance.*
- *The variance is not substantial.*
- *The essential character of the neighborhood would not be substantially altered and/or the adjoining properties would not suffer a substantial detriment as a result of the variance.*
- *The variance would not adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
- *The property owner purchased the property without the knowledge of the zoning restriction and/or the need for the variance is not "self-imposed." (The owner did not create the situation)*
- *The property owner's predicament feasibly cannot be obviated through some method other than a variance.*
- *The spirit and intent behind the zoning requirement would be observed, substantial justice done by granting the variance.*

OR

Motion to **DENY** the variance request:

I make the motion to **deny** the request for an area variance 412 Wasta Ave for a 10'-5¾" rear yard setback variance for a covered rear yard patio addition, as sufficient testimony has **not** been presented in this public hearing that the requested variance meets the criteria set forth in the seven-way test as the:

*(Choose one or more appropriate finding(s) and specific items based on the seven-way test)*

- *The property in question would yield a reasonable return and/or would have beneficial use without the variance.*
- *The variance is substantial.*
- *The essential character of the neighborhood would be substantially altered and/or the adjoining properties would suffer a substantial detriment as a result of the variance.*
- *The variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
- *The property owner purchased the property with the knowledge of the zoning restriction and/or the need for the variance is "self-imposed." (The owner created the situation)*
- *The property owner's predicament feasibly cannot be obviated through some method other than a variance.*
- *The spirit and intent behind the zoning requirement would not be observed, substantial justice would not be done by granting the variance.*









**CITY OF HURON**  
**Planning & Zoning Department**  
**417 MAIN STREET, HURON, OH 44839**

**THE BOARD OF BUILDING AND ZONING APPEALS APPLICATION**  
Completion of all applicable sections required. Incomplete applications will not be accepted.

We, the undersigned represent that we are the title owners of the following described property situated in the City of Huron, OH:

Applicant's Name: Jessica Warnike  
Property Owners' Name: Corey and Jessica Warnike  
Address: 412 Wasta Ave  
City, State, Zip: Huron, OH 44839  
Phone Number: 440-984-8020  
Email: jessica@warnike.com

**Location of Project:**

Lot/Parcel #: 49-00089.000 Zoning District: R-1  
Address: 412 Wasta Ave Huron, OH 44839.  
Year purchased: 2024. Year the existing structure was constructed: 1940  
Single Story Home:      Two Story Home: X

Provide a brief summary of your proposed project:

construct a one story open covered patio with motorized  
screens with a fireplace on the back side of  
the home

**Type:**

- Area Variance: Subdivision Regulations      Parking      Setbacks X  
Height      Size      Flood Plain      Sign Regulations
- Use Variance:
- Conditionally Permitted Use:

We request a Hearing before the Board of Building and Zoning Appeals of the City of Huron, Ohio, on the following question: (State the specific details of the variance being requested. Example: Area variance- 1' side setback variance is required for the proposed addition; Use Variance- State the type of use; or Conditionally Permitted Use approval )

Area variance- A 26' rear yard setback is required for the proposed addition

### Conditionally Permitted Use Approval

The following uses shall be permitted only if authorized by the Board of Building & Zoning Appeals in accordance with the provisions of Section 1139.02. State the type of use being proposed and the applicable code section:

Code Section: \_\_\_\_\_

(skip to Page 7, Sign and Date Application)

### Use and/or Area Variance Questionnaire

1. The property in question [ will/will not] yield a reasonable return and there [ can/ cannot] be a beneficial use of the property without the variance because:

The proposed covered patio is intended as a reasonable addition of the home. The space will allow for comfortable outdoor space the blocks the sun and allows for pest control in the summer months. Without the variance the structure cannot be completed as our home already falls into the setback restrictions

2. The variance is [substantial/insubstantial] because:

The variance still allows for 21' of rear yard space, which provides adequate separation and does not encroach on neighboring properties. The patio is low in height, screened, and architecturally integrated with the home. This minimizes any visual or spatial impact.

3. The essential character of the neighborhood [would/would not] be substantially altered or adjoining properties [would/would not] suffer a substantial detriment as a result of the variance because:

Many homes near the Lake have porches, decks or patios to take advantage of outdoor living. The proposed structure aligns with the character of the neighborhood and does not obstruct views, access or light. The screen design helps preserve privacy and minimize noise.

4. The variance [ would/would not] adversely affect the delivery of governmental services, (e.g., water, sewer, garbage)

The structure will not interfere with utility easements or access points. Municipal services will continue to function normally without any disruption.

5. The applicant purchased the property [with/without] knowledge of the zoning restriction. Year the property was purchased: 2024. Year the structure(s) was constructed: 1940.



6. The applicant's predicament feasibly [can/cannot] be resolved through some method other than a variance.

7. The spirit and intent behind the zoning requirement [ would/would not] be observed and substantial justice [done/not done] by granting the variance because

The variance allows for reasonable use of the property, protects neighbor privacy, is modest in scale, and will not infringe on surrounding properties. The variance allows us to increase desired outdoor living space.

8. We believe the request should be granted due to the following hardship which is created by the property: (explain the hardship that exists pursuant to the code)

As the property is currently, the home is already built into the setback. This limitation prevents construction of any covered outdoor space without a variance. Being in a lakeside community, unscreened outdoor space is severely limited due to invasive insects. Several of us in our family have severe reactions to insect bites. The grant of a variance will allow us to increase our use of outdoor space.

Note: If granted, Use or Area variances will expire within one (1) year from the date of approval. Refer to Section 1139.04 (e) for specifics to timeline regulations for commencement of construction or Use continuation.

I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent and agree to conform to all applicable laws, regulations, and ordinances of the city. I certify all information contained within this application and supplemental documents are true and accurate to the best of my knowledge and belief.

In addition, I, the undersigned responsible party (owner, occupant, tenant, or agent for the property owner) of the property described herein, do hereby consent to entry upon said property, at a reasonable time and to the extent necessary, by the City of Huron and its officers, employees, and/or agents for the purpose of inspecting said property for compliance with the City's Zoning and/or Building Codes. I further certify that I have authority to grant access to said property.

Date: 4-14-25 Signed Applicant

Date: 4-14-25 Signed Property Owner

(REQUIRED)

\*\*\*\*\*

ZONING DEPT. USE ONLY

Date received: 4/15/25 Application Complete ✓

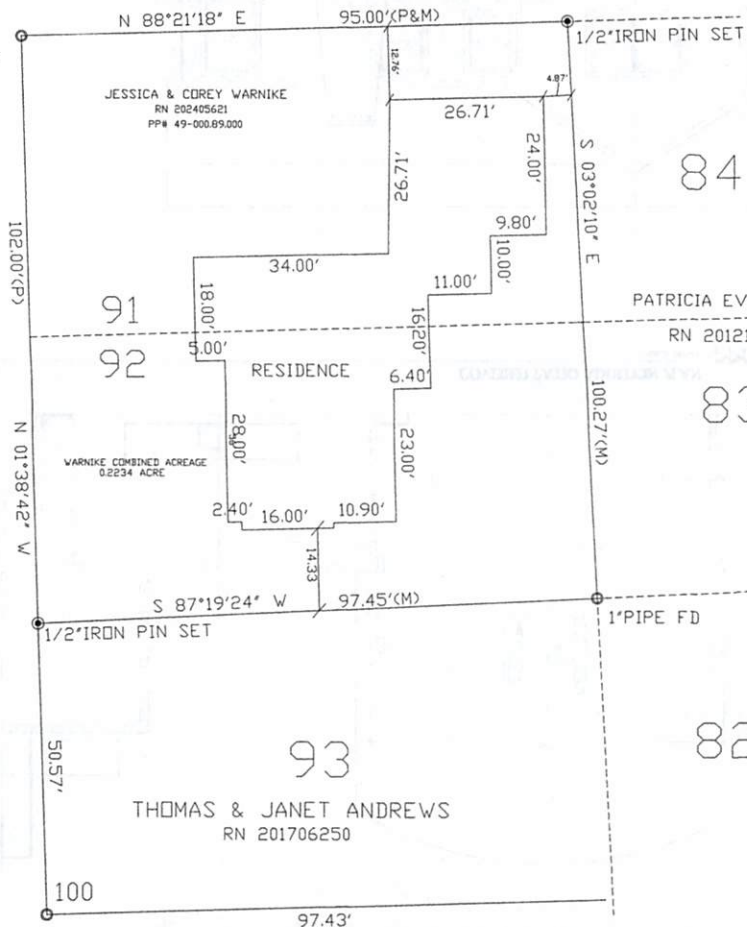
\$150 filing fee received: 150.00 ✓

Comments \_\_\_\_\_

Hearing Date 5/12/25

P.D.B.  
1"PIPE FD

WASTA AVE. 30FT



### LEGEND

- 1/2" IRON PIN SET
- 1" PIPE FD

### MAP OF SURVEY FOR JESSICA WARNIKE

SUBLOTS 91&92 CHASKA BEACH SECOND SUBDIVISION  
PLAT VOL.9 PG 15 T6N R22W CITY OF HURON  
ERIE COUNTY STATE OF OHIO  
OCTOBER 2024 SCALE 1"=10'

I HEREBY CERTIFY THE WITHIN  
TO BE A TRUE REPRESENTATION  
OF A SURVEY MADE BY ME.

*Daniel E. Hartung, Jr.*  
DANIEL E. HARTUNG, JR., P.E., P.S.



HARTUNG & ASSOCIATES  
ENGINEERS & SURVEYORS

P.O. BOX 426, 346 NORTH MAIN ST., HURON, OH 44839-0426  
(419) 433-4321 FAX (419) 433-7879

DANIEL E. HARTUNG JR., P.E., P.S.

*Existing*

**MAISON<sup>A.D</sup>**  
ARCHITECTURE & DESIGN | CLEVELAND, OH

TELLO D'ERCOLE D'ERCO  
ANNE LACE, CORD GALLIS  
PHONE  
216.233.3333



**WARNIKE RESIDENCE**  
INTERIOR RENOVATIONS & REAR PORCH ADDITION

412 WASTA AVENUE  
HILTON, OH 44139

**GENERAL SITE PLAN NOTES**

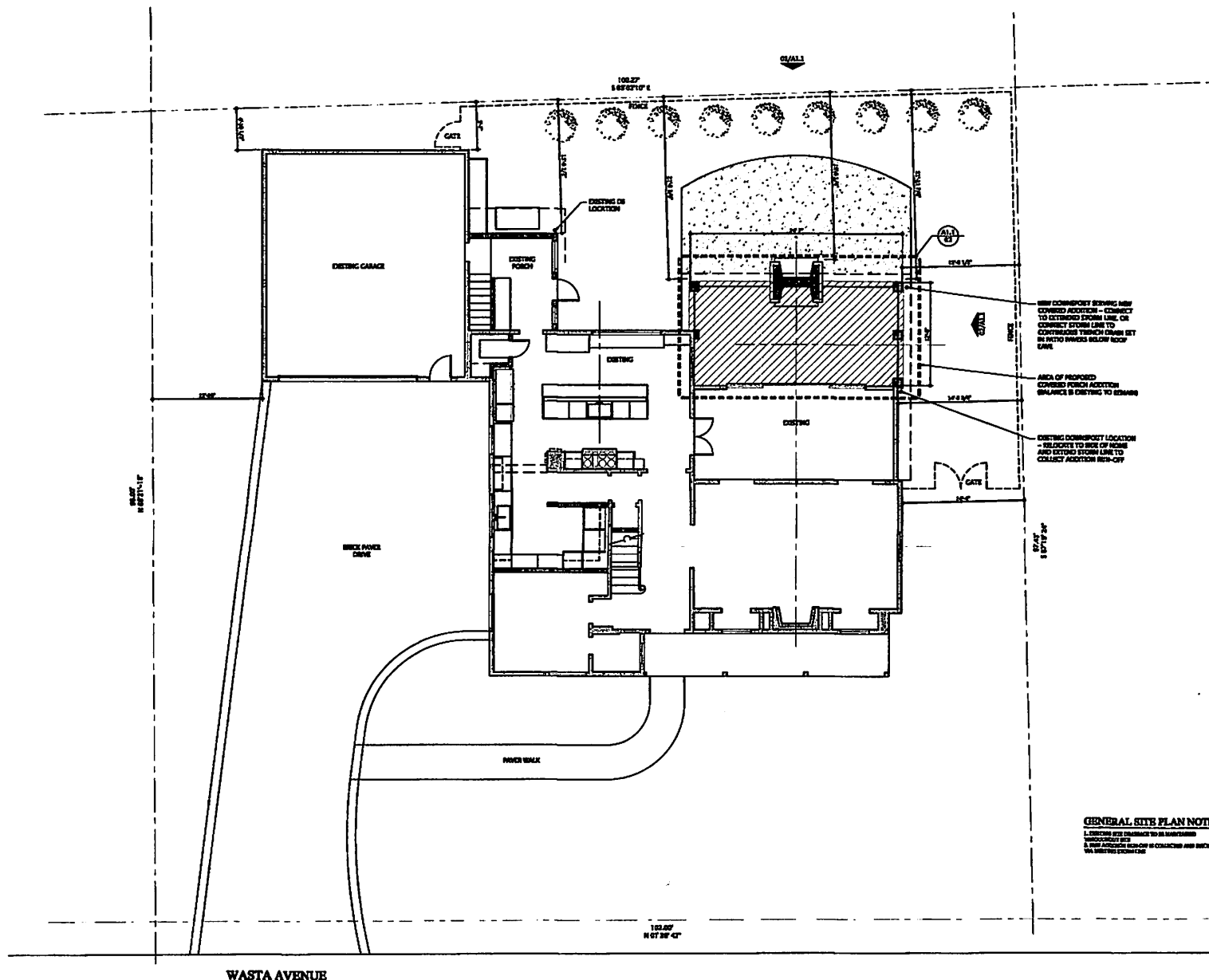
1. EXISTING SITE DRAINAGE TO BE MAINTAINED  
WHICH EXISTING SITE

2. NEW ADDRESS SIGN-OUT IS COLLECTING AND DRAINAGE  
WILL BE THE EXISTING ONE

**ZONING:** **MATCH 25, 2025**  
**PROJECT:** **98-1223**

**A**  
**1.0**

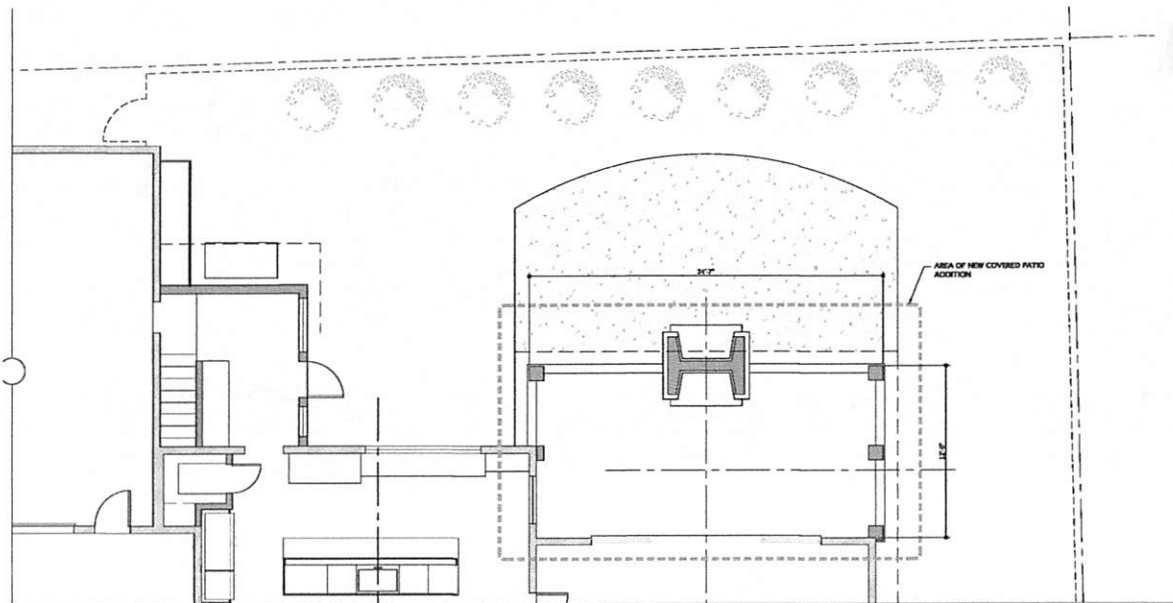
### SITE PLAN



## SITE PLAN

SCALE 27F-1 2 1 0

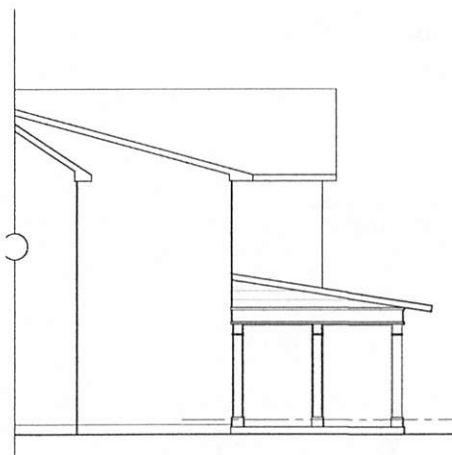




03

COVERED PATIO ADDITION PLAN

SCALE: 1/4" = 1' 2" 1" 0" 2"



02

SOUTH (SIDE) ELEVATION

SCALE: 1/4" = 1' 2" 1" 0" 2"



01

EAST (REAR) ELEVATION

SCALE: 1/4" = 1' 2" 1" 0" 2"

**MAISON<sup>A+D</sup>**  
ARCHITECTURE & DESIGN | CLEVELAND, OH  
32110 DERRICK DRIVE  
AVON LAKE, OHIO 44012  
PHONE: 216.832.3434



DAVID J. MAISON  
LICENSE #13098  
EXP. DATE 12/31/2025

**WARNIKE RESIDENCE**  
INTERIOR RENOVATIONS & REAR PORCH ADDITION

412 WASTA AVENUE  
HURON, OH 44839

ZONING: MARCH 25, 2025  
PROJECT: WA-1221

**A**  
**1.1**

PLAN & ELEVATIONS



**MAISON<sup>A+D</sup>**  
ARCHITECTURE & DESIGN | CLEVELAND, OH

32110 DUFFIELD DRIVE  
AVON LAKE, OHIO 44012

PHONE  
216.832.3434

**ARCHITECTURAL:**  
**MAISON ARCHITECTURE + DESIGN** P 216 832 3434  
 32119 DEERFIELD DRIVE  
 AVON LAKE OHIO  
 CONTACT: DAVID MAISON  
 EMAIL: DAVID@MAISONDESIGN.CO

LOCATION OF WORK:  
412 WASTA AVENUE



DAVID J. MAISON  
LICENSE #13098  
EXP. DATE 12/31/2025

**WARNIKE RESIDENCE**  
INTERIOR RENOVATIONS & REAR PORCH ADDITION

[illegible]

THIS ARCHITECT IS SOLELY RESPONSIBLE FOR THE DESIGN INTERPRETATION OF THE CONSTRUCTION DOCUMENTS.

DO NOT SCALE DRAWINGS.

VERIFY FIELD CONDITIONS AND COMPARE SUCH FIELD CONDITIONS WITH THE INTENT OF THE DESIGN. IT IS YOUR DUTY TO KNOW THE INTENT OF THE CONTRACT WITH THE CONTRACT DOCUMENTS BEFORE COMMENCING ACTIVITIES. REPORT ERRORS, INCONSISTENCIES OR OMISSIONS TO THE ARCHITECT IMMEDIATELY.

THE GENERAL CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION, THE CONTRACT DOCUMENTS AND THE FIELD CONDITIONS TO MAINTAIN CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL ACTIVITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTRACT DOCUMENTS GIVE OTHER SPECIFIC INSTRUCTIONS CONCERNING THE WORK.

THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL BUILDING TRAFFIC AND TO BUILDING SYSTEMS AND EQUIPMENT AND VERIFY THAT REQUIRED CLEARANCES FOR INSTALLATION AND OPERATION OF THE BUILDING SYSTEMS AND EQUIPMENT ARE MAINTAINED. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING: ELECTRICAL, MECHANICAL, PLUMBING, PIPING, TELEPHONE AND SPEAKER EQUIPMENT.

THE CONTRACTOR SHALL COORDINATE WITH ALL BUILDING TRAFFIC INVOLVED IN THE PROJECT TO INSURE PROPER CLEARANCES FOR THE INSTALLATION AND OPERATION OF THE BUILDING SYSTEMS AND EQUIPMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL TRAFFIC INCLUDING TO MAINTAIN THE CEILING HEIGHTS NOTED ON THE DRAWINGS. ANY CONTRACTS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.

ELECTRICAL, MECHANICAL, PLUMBING, PIPING, TELEPHONE EQUIPMENT, ETC., SHALL BE LOCATED IN ACCORDANCE WITH THE REQUIREMENTS OF THE BUILDING AGENCIES. ANY LOCATIONS NOT SHOWN SHALL BE VERIFIED WITH ARCHITECT'S PRIOR TO ABOVE-FLOOR AND INSTALLATION. UNDER OTHERWISE NOTED, THE ABOVE PARAGRAPHS SHALL BE APPLIED TO THE CONTRACTOR TO MAINTAIN THE INTEGRITY OF WALL RATING REQUIREMENTS.

UNLESS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL DESIGN AND PROVIDE FOR THE BUILDING VIBRATION PROTECTION OF THE BUILDING SYSTEMS AND EQUIPMENT. INSPECTIONS NECESSARY FOR PROPER DESIGN AND COMPLETION OF THE WORK SHALL BE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, CONSTRUCTION AND PERFORMANCE OF THE WORK.

IN THE EVENT THE CONTRACTOR ENCOUNTERS ON THE SITE MATERIAL REASONABLY BELIEVED TO BE ASSISTON, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT. SUCH MATERIAL SHALL BE REMOVED IMMEDIATELY. THE CONTRACTOR SHALL IMMEDIATELY STOP WORK IN THE AREA AFFECTED AND SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE MATERIAL.

**PARTIAL RENOVATION OF EXISTING FIRST FLOOR AND THE ADDITION OF A NEW COVERED REAR PORCH.**

**DESIGN LOADS:**

<b>STIFF FLOOR LOAD:</b>	40 PSF (S.L.) + 30 PSF
<b>SLAB:</b>	FLOOR DEFLECTION: L/1600 MAX.
<b>ROOF LOAD:</b>	20 PSF (S.L.) + 15 PSF
<b>WIND LOAD:</b>	15 MPF
<b>SOIL BEARING PRESSURE:</b>	2000 PSF ASSUMED

**EARTHQUAKE DESIGN DATA (SECTION 1813)**

<b>SEISMIC WAVE GROUP:</b>	<b>GROUP 1</b>
<b>SPECTRAL RESPONSE ACCELERATIONS:</b>	<b>SS = 0.179</b>
	<b>SC = 0.051</b>

**SITE CLASS (TABLE 1813.5-2) = C (ASSUMED)**

<b>BASE SEISMIC FORCE =</b>	<b>RESTRICTING</b>
<b>SYSTEM (TABLE 1617.8)</b>	<b>TYPE 2T</b>
<b>BUILDING FRAME SYSTEM</b>	

**RESPONSE MODIFICATION FACTOR = 6.5**

**DEFLECTION AMPLIFICATION FACTOR = 4.0**

**A** SECTION MARK INDICATES DIRECTION  
A.1 / 01 SHEET # / DETAIL #

**B** DETAIL REFERENCE  
01 DETAIL NUMBER

**C** SHEET NUMBER  
INDICATES AREA

**D** NORTH ARROW

**E** CORRELOR LOG

**F** SPACE NAME AND NUMBER

**G** WALL BASE FLOOR  
HPT (HPT) 101

**H** FINISH TAG

INDICATES DIRECTION  
SHEET # / DETAIL #

NORTH ARROW

SPACE NAME AND  
NUMBER

FINISH TAG

EARTH		METAL		STEEL OR SS		EIFS	
CONCRETE		GRAVEL FILL		INSULATION		BIGGED INSULATION	
MASONRY		STRUCTURAL/PRECAST		BATT INSULATION		FIREWOODING	
STONE		BRICK		MISC		CLUB	
WOOD		CUT STONE		MEMBRANE/FLEXIBLE FLASHING		GLASS	
		FINISH WOOD		ACoustical COATING		CARPET	
		ROUGH WOOD		EXPANSION MATERIAL		ACoustical MATERIAL/OUTLINER	
		PLYWOOD					

ZONING: MARCH 25, 2025  
PROJECT: NR-1774

A  
REF  
GENERAL REFERENCE





**TO:** Chairman Kath and Board Members  
**FROM:** Christine Gibboney, Planning & Zoning Manager  
**RE:** Area Variance: 118 Cincinnati Ave  
**DATE:** May 12, 2025

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**118 Cincinnati Ave**                      **Zoning:** R-1                      **Parcel No.:** 45-00066.000

**Existing Land Use:**                      **Single Family Residence**                      **Flood Zone:** X

**Property Size:**                      **80 x 89**

**Traffic Considerations:**                      n/a

**Project Description- Area Variance-**

The existing single-story home was built in 1966 and until recently, spanned two lots. The owners have had the parcels combined and are proposing an attached 936 sq.ft. garage addition to the left side of the home. As proposed, the attached garage will align with the existing rear yard setback of the house, which is pre-existing/nonconforming at 22', and therefore would require a variance.

**Applicable Code Sections/Specifications**

**1123.01- R-1 Single Family Residential**

				<u>Side Yards</u>		
<u>Dwelling</u> <u>(stories)</u>	<u>Lot Area</u> <u>(sq. ft.)</u>	<u>Lot Frontage</u> <u>(ft.)</u>	<u>Front</u> <u>Yard</u> <u>Depth</u> <u>(ft.)</u>	<u>Least</u> <u>Width</u> <u>(ft.)</u>	<u>Sum of</u> <u>Width</u> <u>(ft.)</u>	<u>Rear</u> <u>Yard</u> <u>Depth</u> <u>(ft.)</u>
1	9,000	75	30	7	15	30
2	9,000	75	30	8	20	30

***Since the proposed variance falls under the "area variance" category, the following criteria should be examined to establish if there are practical difficulties in the use of the property (The Seven (7) Way Test-Duncan vs The Village of Middlefield) MEMBERS SHOULD REVIEW AND APPLY THIS CRITERIA ON THE RECORD:***

- 1. Whether the property in question will yield a reasonable return or whether there can be any beneficial use of the property without the variance.***
- 2. Whether the variance is substantial.***
- 3. Whether the essential character of the neighborhood would be substantially altered or whether adjoining properties would suffer a substantial detriment as a result of the variance.***
- 4. Whether the variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).***

5. *Whether the property owner purchased the property with knowledge of the zoning restriction or if the need for the variance is "self-imposed." (The owner created the situation)*
6. *Whether the property owner's predicament feasibly can be obviated through some method other than a variance.*
7. *Whether the spirit and intent behind the zoning requirement would be observed substantial justice done by granting the variance.*

### **Staff Analysis**

The existing single-story home is considered pre-existing/non-conforming to the code for the rear yard setback which is 22' (30' Required)

The applicant is proposing to demolish the existing detached shed and add a breezeway to attach a new garage to the existing home.

As proposed, the garage would be compliant with the front, sides, and height regulations of Section 1123. The garage will align with the existing home at 22' from the rear property line, requiring a rear yard setback variance.

**As proposed, the following variances are required:**

- **8' Rear Yard Setback Variance**

### **Motion Examples**

**[PLEASE STATE WHY YOU ARE APPROVING OR DENYING FOR THE RECORD, USING THE SEVEN WAY TEST CRITERIA]**

Motion to **APPROVE** the variance request:

I make the motion to **approve** the request for an area variance at 118 Cincinnati Ave for an 8' rear yard setback variance for an attached garage addition, as submitted, as the testimony presented in this public hearing has shown that *(Choose one or more appropriate finding(s) and specific items based on the seven-way test)*

- *The property in question would not yield a reasonable return or would not have any beneficial use without the variance.*
- *The variance is not substantial.*
- *The essential character of the neighborhood would not be substantially altered and/or the adjoining properties would not suffer a substantial detriment as a result of the variance.*
- *The variance would not adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
- *The property owner purchased the property without the knowledge of the zoning restriction and/or the need for the variance is not "self-imposed." (The owner did not create the situation)*
- *The property owner's predicament feasibly cannot be obviated through some method other than a variance.*
- *The spirit and intent behind the zoning requirement would be observed, substantial justice done by granting the variance.*

OR

Motion to **DENY** the variance request:

I make the motion to **deny** the request for an area variance at 118 Cincinnati Ave for an 8' rear yard setback variance for an attached garage addition, as sufficient testimony has **not** been presented in this public hearing that the requested variance meets the criteria set forth in the seven-way test as the:

*(Choose one or more appropriate finding(s) and specific items based on the seven-way test)*

- *The property in question would yield a reasonable return and/or would have beneficial use without the variance.*
- *The variance is substantial.*
- *The essential character of the neighborhood would be substantially altered and/or the adjoining properties would suffer a substantial detriment as a result of the variance.*
- *The variance would adversely affect the delivery of governmental services (for example, water, sewer, garbage).*
- *The property owner purchased the property with the knowledge of the zoning restriction and/or the need for the variance is "self-imposed." (The owner created the situation)*
- *The property owner's predicament feasibly cannot be obviated through some method other than a variance.*
- *The spirit and intent behind the zoning requirement would not be observed, substantial justice would not be done by granting the variance.*



120

60

CINCINNATI AVE

123.61

114

20

89.89

18

.2400

118

16

89.2

111.07

63

14





**CITY OF HURON**  
**Planning & Zoning Department**  
**417 MAIN STREET, HURON, OH 44839**

**THE BOARD OF BUILDING AND ZONING APPEALS APPLICATION**  
Completion of all applicable sections required. Incomplete applications will not be accepted.

We, the undersigned represent that we are the title owners of the following described property situated in the City of Huron, OH:

Applicant's Name Robert N. Bauman

Property Owners' Name: Robert N. Bauman

Address: 118 Cincinnati Ave

City, State, Zip: Huron Ohio 44839

Phone Number 419-602-1413

Email: Rnbauman0920@gmail.com

**Location of Project:**

Lot/Parcel #: 45.00066.000 Zoning District: R-1

Address: 118 Cincinnati Ave Huron, OH 44839.

Year purchased: 1981. Year the existing structure was constructed: 1966

Single Story Home: X Two Story Home:     

Provide a brief summary of your proposed project:

26' x 36' x 16' garage to be attached to  
our existing home by a breezeway

Type:

• Area Variance: Subdivision Regulations      Parking      Setbacks X

Height      Size      Flood Plain      Sign Regulations     

• Use Variance:     

• Conditionally Permitted Use:

We request a Hearing before the Board of Building and Zoning Appeals of the City of Huron, Ohio, on the following question: (State the specific details of the variance being requested. Example: Area variance- 1' side setback variance is required for the proposed addition; Use Variance- State the type of use; or Conditionally Permitted Use approval)

An 8 foot rear setback to allow a garage addition, which would align with the rear of property owners home

### **Conditionally Permitted Use Approval**

The following uses shall be permitted only if authorized by the Board of Building & Zoning Appeals in accordance with the provisions of Section 1139.02. State the type of use being proposed and the applicable code section:

Code Section: \_\_\_\_\_

(skip to Page 7, Sign and Date Application)

### **Use and/or Area Variance Questionnaire**

1. The property in question [ will / will not ] yield a reasonable return and there [ can / cannot ] be a beneficial use of the property without the variance because:  
The property can not be used for our intended purpose.
2. The variance is [ substantial / insubstantial ] because:  
It permits us to build a garage / workshop to use for personal use. It would also align with a previous approved variance.
3. The essential character of the neighborhood [ would / would not ] be substantially altered or adjoining properties [ would / would not ] suffer a substantial detriment as a result of the variance because:  
The garage addition will be done in a quality manner - actually enhancing the property - not detract from it.
4. The variance [ would / would not ] adversely affect the delivery of governmental services, (e.g., water, sewer, garbage)  
This does not / would not effect these services in any way
5. The applicant purchased the property [ with / without ] knowledge of the zoning restriction. Year the property was purchased: 1981. Year the structure(s) was constructed: 1966.

6. The applicant's predicament feasibly [can/cannot] be resolved through some method other than a variance.
7. The spirit and intent behind the zoning requirement [ would/would not] be observed and substantial justice [ done/not done] by granting the variance because the variance allows for a positive use of the property
8. We believe the request should be granted due to the following hardship which is created by the property: (explain the hardship that exists *pursuant to the code*)  
The property has little value if the variance is not granted. The garage will offer the most potential to the property

**Note: If granted, Use or Area variances will expire within one (1) year from the date of approval. Refer to Section 1139.04 (e) for specifics to timeline regulations for commencement of construction or Use continuation.**

I hereby certify that I am the owner of record of the named property or that the proposed work is authorized by the owner of record and/or I have been authorized to make this application as an authorized agent and agree to conform to all applicable laws, regulations, and ordinances of the city. I certify all information contained within this application and supplemental documents are true and accurate to the best of my knowledge and belief.

In addition, I, the undersigned responsible party (owner, occupant, tenant, or agent for the property owner) of the property described herein, do hereby consent to entry upon said property, at a reasonable time and to the extent necessary, by the City of Huron and its officers, employees, and/or agents for the purpose of inspecting said property for compliance with the City's Zoning and/or Building Codes. I further certify that I have authority to grant access to said property.

Date: 4-15-2025 Signed Applicant

Date: 4-15-2025 Signed Property Owner

(REQUIRED)

\*\*\*\*\*

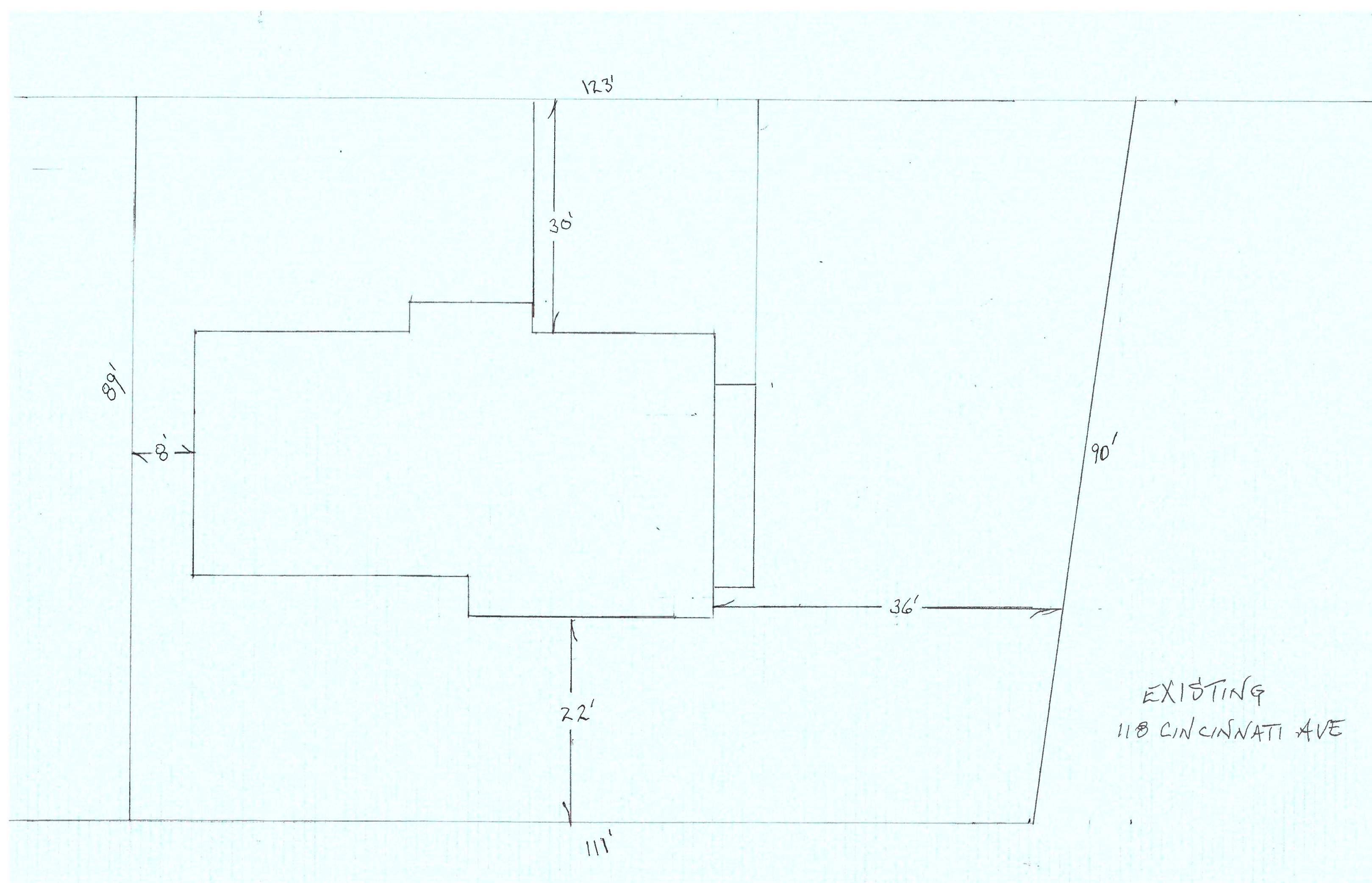
**ZONING DEPT. USE ONLY**

Date received: 4/21/25 Application Complete

\$150 filing fee receipted: 8528

Comments \_\_\_\_\_ Hearing Date \_\_\_\_\_







123'

16'  
NEW  
DRIVEWAY

30'

89'

8'

BW  
7'x9'

PROPOSED  
26'x36'x16'  
GARAGE

90'

7'

22'

22'

111'

PROPOSED  
118 CINCINNATI AVE



